



City of Bradenton
Planning and Community Development Department
Planning Commission Public Hearing
February 20, 2018

Staff Report

Case Number: SU 18.4581

Applicant: Nathan Kragt, P.E. of ZNS Engineering, LC, agent, for Bradenton Christian School Society, Inc., owner

Address: 3304 43rd Street West, 3204 43rd Street West

Parcel ID: 5080310054, 5080510059

Future Land Use: Public/Private Schools/ Low Density Residential

Zoning: R-1 Single-family Residential

Summary of Request and Staff Recommendation

The applicant has requested Special Use Expansion permit to expand the school's sports complex. The project area is located within the existing Bradenton Christian School campus, with the addition of a portion of an adjacent parcel to accommodate an increase in parking. The total area of the site will increase from ± 19.7 acres to ± 21.1 acres. The requested expansion includes:

- Addition of new artificial turf sports fields, grand stands and dugouts
- Demolish two existing structures
- The construction of a new expanded gymnasium, up to 60,000 square feet
- Addition of field lighting
- Parking lot improvements
- Additional signage
- Increase in project area

Staff recommends that stipulations regarding lighting be carried over from a prior special use expansion (SA.09.0018) which included the installation of stadium lighting. The stipulations are appropriate to the requested expansion.

Previous Approvals for Bradenton Christian School include the following:

- M-77-58 - Expansion of existing facility for gym.
- August 1977 - Permit issued for the addition of an activity center.
- E-SE-79-05 - Expansion for 4 additional classroom buildings. The plan submitted for this expansion included the football/soccer field.
- E-SE-80.03 - Expansion for high school building.
- M.81.17 - Amendment for parking lot relocation.
- V-93-10 - Variance to increase sign square footage from 32 to 40.
- E-SE-96-13 - Expansion and phasing plan for parking, excavation, stormwater facility, basketball courts, four buildings, an addition to the high school, a bus driveway and drop-off.
- SA.09.0018 - Expansion of an existing special use in order to install stadium lighting for school football/soccer field.
- SA.15.3388 – Expansion for Middle School Building.

Special Use Request

Land uses requiring Special Use Permits are those which have the potential of disturbing other land uses in the zoning district. Because they are not necessarily compatible with land uses in the zone in which they are allowed, they require discretionary review. Special Uses are permitted only if in the specific instance the use will be compatible with surrounding uses or can be made compatible through limitations of their operation or enhancements of the site development design. The Special Use Permit makes the stipulations of approval mandatory. The Special Use Permit is valid for the property on which it is issued for as long as the conditions are met, unless the approval stipulates otherwise.

3.3.1 GENERAL STANDARDS. All Special Uses shall comply at minimum with the following standards. Additional requirements may be made by City Council to ensure compatibility of uses.

3.3.1.1 All Special Uses shall be subject to the general regulations of these LURs for single lot development, structures, lots, yards and vehicular use areas as well as the specific dimensional regulations for lots and structures for the zoning district in which the Special Use is proposed.

3.3.1.2 A landscaped separation strip of at least ten feet in width shall be provided along all property lines and along all streets serving the premises, except at approved access points.

3.3.2 REVIEW CRITERIA. All Special Uses shall comply with and be reviewed using the following criteria to determine whether to allow the use at the proposed location and to determine appropriate conditions to the use.

3.3.2.1 The tract of land must be suitable for the type of use proposed by virtue of its location, topography, shape and the nature of surrounding development.

3.3.2.2 Access points must be located so as to best suit the use and property. Wide spacing between access points and intersecting streets should be required when feasible.

3.3.2.3 All buildings shall be located an adequate distance from property lines and streets. Setbacks in excess of those required for the specific zone may be required to lessen the effect of the use on neighboring properties.

3.3.2.4 Permanent screening, such as walls, fences, hedges, and other barriers, may be required to protect surrounding properties from view of the premises or noises from the use. The minimum height and other parameters of such screening may be specified.

3.3.2.5 The following shall be considered and cited as reasons for approval or denial of the application:

- a. Adequacy of ingress and egress to property and proposed structures with particular regard for automobiles and pedestrian safety and convenience, traffic generation, flow and control and emergency access.

Staff Response: There are two existing ingress/egress points. No additional access points are proposed. Access to the playing fields by emergency vehicles will be provided via an emergency access gate, located at the west end of the 43rd Street West ingress/egress.

- b. Location and design of off-street parking and loading areas in regard to the items in "a" above and the smoke, noise, glare, dust, vibrations, fumes, pollution and other effects of the use on adjoining properties.

Staff Response: Parking is being redesigned and expanded in the north area adjacent to the large community pond, with no net effect to adjacent properties.

- c. Location and design of refuse and service areas in regards to availability, adequacy and effect upon surrounding properties.

Staff Response: There is no proposed change to the design of refuse and service areas.

- d. Utilities, in regards to location, availability, adequacy and compatibility with surrounding properties.

The site is already served by utilities, which are available to the proposed use.

- e. Screening, buffering or separation of any nuisance or hazardous feature of the use.

Staff Response: Staff is recommending that prior stipulations regarding lighting be carried over to this application, in order to further protect adjacent residential uses from lighting and noise that are inherent to sports playing fields. The additional lighting as well as the expanded play areas are to be buffered with the required ten

foot perimeter buffer that is to include dense perimeter landscaping. Photometrics will be designed according to City shielding requirements. Barrier netting will be recommended as a stipulation, to be placed behind the ball field to the north and west to prevent balls from going into adjacent properties.

- f. Proposed signs and exterior lighting with reference to glare, traffic safety and compatibility and harmony with surrounding properties.

Staff Response: Proposed new signage is illustrated in the application materials and includes two (2) new wall-type entry signs at the two ingress/egress points along 43rd Street West. The applicant requests that the two signs each be approved at 160 square feet (Land Use Regulations limits to 48 square feet, one sign per non-residential use.)

The final lighting plan will be submitted with the Site Improvement Permit application and is required to meet the City's Land Use Regulations and Public Works Standards as well as the additional stipulations recommended with this application.

- g. Effect upon the value of surrounding properties; the use shall not hinder the development of nearby vacant properties or adversely affect their economic value.

Staff Response: No adverse impacts to the surrounding properties are anticipated with the expansion of the sports fields and associated changes to the site.

- h. Adequacy of land and/or building which are to be used.

Staff Response: The site is adequate for the proposed use, with the expansion being primarily improvements to the existing school and its sports facilities. The additional parking proposed is within the property that has been added to the site, and is adjacent to the pond that is in the parcel. The pond is a simple shell pond and is not part of any stormwater management, according to Public Works, and will not be affected by the proposed expansion.

- i. General compatibility or appropriateness with adjacent properties and other property in the district with special consideration given to the proposed hours of operation.

Staff Response: The school use is compatible with the surrounding residential development pattern while providing a use that serves nearby residential communities. The proposed expansion should have no adverse impact on nearby residential communities, as existing buffering will be enhanced with dense landscaping and changes in lighting will adhere to regulations that are designed to protect adjoining properties. The proposed use will not change the current hours of sports events.

- j. Environmental quality of the district in which the use is proposed and the effect the Special Use Permit might have on such quality.

Staff Response: There is no effect expected to the environmental quality of the district. The addition of artificial turf and expanded impervious surfaces will meet SWFWMD and Public Works requirements for stormwater management. The actual

impervious contribution of the artificial turf fields will be determined at the time of the Site Improvement Permit review. Installation methods will contribute to the determination, which may typically represent a percentage of the total turf area. Underlying R-1 zoning calls for a maximum impervious surface coverage of 50%. The applicant is requesting an increase in the impervious surface area to a maximum of 70%, in order to accommodate the installation of the artificial turf fields and corresponding improvements. A stipulation is recommended that the increase in allowed impervious area is to be used for the sports fields only, and not for any increase in parking.

k. Consistency with the City's Comprehensive Plan.

Staff Response: The special use expansion is consistent with the Goals, Objectives and Policies of the City of Bradenton Comprehensive Plan.

Policy 3.32 Compatibility. New and proposed school sites shall be compatible with existing or anticipated on adjacent properties based on the type of school and the type of facilities proposed for the site.

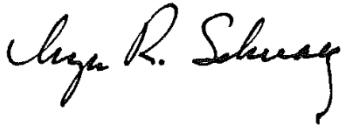
Policy 5.1.1 Community Focal Points. The City of Bradenton shall recognize the importance of school facilities as community focal points in planning for future land uses, infrastructure and amenities.

Staff feels that the applicant has met all of the requirements for the special use permit and recommends approval of the application with the following stipulations:

1. Prior to installation of the lights, the applicant will submit a landscape plan designed by a Florida certified landscape architect, indicating dense buffering between the sports fields and amenities, and the residential properties to the west and to the north. The landscape plan will be approved by the planning and community development director, and implemented prior to the final inspection of the lighting.
2. The illumination shall be downshielded in order to ensure that illumination is only broadcast to necessary areas, and will not escape upwards or over to off site locations, including onto adjoining properties. Wattage shall be the minimum necessary to sufficiently light the field. Lighting specifications shall be consistent with the photometric plan submitted with this request and shall ensure that the lighting shall not spill onto the abutting properties thorough the use of downshielding and orientation of the luminaries.
3. A timer system shall be designed and incorporated into the plan to allow for programming of the lights with automatic shut off capability.
4. The applicant shall install clear and visible signage that identifies the contact information for the department that would handle any complaints regarding operation of the illumination of the ball fields and any other potential light related complaints.

5. This approval is granted on the condition that sports events identified in this application shall conclude prior to 10 P.M. with the exception of scheduled football games for which the time shall be extended to 11:00 P.M.
6. Any increase in impervious area above 50% is to accommodate the addition of turf ballfields and won't be used to accommodate parking areas.
7. Barrier netting is to be installed between the ball field to the north and west and the adjacent residential properties.

Respectfully submitted,

A handwritten signature in black ink, reading "Myra R. Schwarz". The signature is written in a cursive style with a large, stylized 'M' and 'S'.

Myra R. Schwarz
Planning and Community Development Coordinator
City of Bradenton
May 16, 2018



Special Use Application

Department of Planning & Community Development
101 Old Main Street, Bradenton, FL 34205
Ph: (941) 932-9400
www.cityofbradenton.com

CONTACT INFORMATION

Name of Property Owner: Bradenton Christian School Society, Inc.
Owner Address: 3304 43rd St W, Bradenton, FL 34209 Telephone: 941-224-1479
Name of Agent: Nathan Kragt, P.E. / ZNS Engineering, LC
Agent Address: 201 5th Avenue Drive East, Bradenton, FL 34208 Telephone: 941-748-8080
Owner/Agent Email: Nathank@znseng.com

REQUIRED

PROPERTY INFORMATION

Property Address: 3204 and 3304 43rd St W, Bradenton, FL 34209
Parcel ID: 5080310054 Acreage: 20.16
Zoning District: R-1 Single Family Future Land Use: Public/Private School
*click to view [Zoning map](#) *click to view [FLU map](#)
Ward #: 2 - Gene Brown Neighborhood #: 4.06
*click to view [Ward map](#) *click to view [Neighborhoods map](#)

REQUIRED

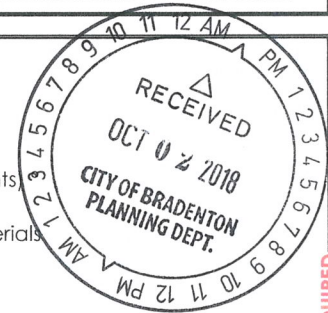
DESCRIPTION

Indicate Type of Special Use Request:
Special Use Special Use-Amendment Special Use - Dock
Provide a brief description of the propose land use activity: Construction of Sports Complex and the corresponding field lighting and gymnasium. The application also includes modifications of the parking lot and drop off lane for safety/efficiency.

REQUIRED

MATERIALS FOR REVIEW

- **Special Use**
 - Special Use Application Fee: **\$1,820**
 - Notarized Agent Authorization Form, if applicable
 - Letter of Request
 - Review Criteria (see page 2 for Special Use Review Criteria)
 - Ten (10) copies of Site Plan to scale (see page 2 for Special Use Site Plan requirements)
 - Property Survey signed & sealed within the last 3 years
 - One (1) electronic copy in pdf format of Application and all required support materials
- **Special Use Permit - Amendment**
 - Special Use Amendment Application Fee: **\$1,070**
 - Notarized Agent Authorization Form, if applicable
 - Letter of Request
 - Ten (10) copies of Site Plan to scale (see page 2 for Special Use Amendment Site Plan requirements)
 - Property Survey signed & sealed within the last 3 years
 - One (1) electronic copy in pdf format of Application and all required support materials
- **Special Use Permit - Dock**
 - Special Use Dock Application Fee: **\$420**
 - Notarized Agent Authorization Form, if applicable
 - Letter of Request
 - Ten (10) copies of Plot Plan to scale & One (1) electronic copy in pdf format of materials for review
 - Property Survey signed & sealed within the last 3 years



REQUIRED

CITY STAFF ONLY

Application Fees:
Fee Required: **\$1,820** (Special Use)
\$1,070 (Special Use-Amendment)
\$420 (Special Use-Dock)

Application Sufficiency:
Sufficient: ☒
Incomplete: ☐

CITY STAFF ONLY

FEE COLLECTED: \$ 1,070
RECEIPT #: 011698-0002

APPLICATION #: SA 184581

CITY COUNCIL: 12/12/18

PLANNING COMMISSION: 11/14/18

DRC: 10/16/18

REVIEW DATES - TO BE COMPLETED BY CITY STAFF



Special Use Application

Department of Planning & Community Development
101 Old Main Street, Bradenton, FL 34205
Ph: (941) 932-9400
www.cityofbradenton.com

SPECIAL USE and SPECIAL USE-AMENDMENT REVIEW CRITERIA:

Special Use and Special Use-Amendments shall comply with and be reviewed using the Special Use criteria found in Section 3.3 of the Land Use Regulations to determine whether to allow the use at the proposed location and to determine appropriate conditions to the use.

Prepare detailed written responses, using factual statements (called Findings of Fact) to explain how the requested Special Use complies with each of the following review criteria:

REVIEW CRITERIA

1. Adequacy of ingress and egress to property and proposed structures with particular regard for automobiles and pedestrian safety and convenience, traffic generation, flow and control and emergency access.
2. Location and design of off-street parking and loading areas in regard to the items in "1" above and the smoke, noise, glare, dust, vibrations, fumes, pollution and other effects of the use on adjoining properties.
3. Location and design of refuse and service areas in regard to availability, adequacy and effect upon surrounding properties.
4. Utilities, in regard to location, availability, adequacy and compatibility with surrounding properties.
5. Screening, buffering or separation of any nuisance or hazardous feature of the use.
6. Proposed signs and exterior lighting with reference to glare, traffic safety and compatibility and harmony with surrounding properties.
7. Effect upon the value of surrounding properties; the use shall not hinder the development of nearby vacant properties or adversely affect their economic values.
8. Adequacy of land and/or building which are to be used.
9. General compatibility or appropriateness with adjacent properties and other property in the district with special consideration given to proposed hours of operation.
10. Environmental quality of the district in which the use is proposed and the effect the Special Use Permit might have on such quality.
11. Consistency with the City of Bradenton Comprehensive Plan.

SPECIAL USE and SPECIAL USE AMENDMENT SITE PLAN REQUIREMENTS:

Please prepare an accurate, legible, scaled site plan containing the following information:

SITE PLAN REQUIREMENTS

- A. The dimensions of the lot, all existing and proposed buildings, setbacks, easements, driveways, landscaping and trees, and fences.
- B. Parking design and availability
- C. Traffic impacts
- D. Location and design of trash collection areas,
- E. Utilities on the site
- F. Signs and exterior lighting

REQUIRED

SA 18. 4581



Special Use Application

Department of Planning & Community Development
101 Old Main Street, Bradenton, FL 34205

Ph: (941) 932-9400

www.cityofbradenton.com

SPECIAL USE REVIEW PROCEDURE:

Step 1: Pre-Application Meeting

Prior to submitting an application for a Special Use Permit, please schedule a pre-application meeting by contacting Karen Aihara at (941)932-9407. Cost for a Pre-Application meeting is \$100.00. This amount is deducted from your application fee. Meetings are held the second and fourth Tuesday of each month by appointment only. At these meetings, the Development Review Committee (Fire, Public Works, Police, Building, Planning & Zoning), will review the proposed Special Use and offer constructive input. The Pre-Application meeting is required in order to file an application.

Step 2: Application Submittal

An official Special Use Permit application must be completely filled out and submitted to Planning and Community Development (PCD) by the second Thursday of the month, no later than 4:00 PM. Failure to meet this deadline will result in delay of application consideration.

Step 3: 1st Sign Posting

About two weeks before the Planning Commission meeting, the PCD Department will contact the owner or authorized agent (applicant) to pick up the required public notice sign from the PCD Department. The sign must be posted on the property 10 days before the meeting. The applicant is required to sign a notarized affidavit stating that the signs have been posted. The affidavit will be kept on file.

Step 4: Staff Review

The PCD Staff will review the application and create a Staff Evaluation and Analysis Report with a recommendation to the reviewing bodies. The PCD staff will then send to the applicant a copy of the agenda for the Planning Commission meeting as a reminder of the date and time.

Step 5: First Public Hearing (Planning Commission)

The Planning Commission will hold a public hearing of the request and will allow anyone interested to speak for or against the request. The Planning Commission is an appointed board which meets the third Wednesday of each month at 2:00 PM in City Council Chambers at City Hall, 101 Old Main Street. After reviewing the evidence presented, the Planning Commission will make a recommendation to the City Council for approval, approval with stipulations, or denial. Notice of the request will be placed in the Bradenton Herald 10 days prior to the Planning Commission meeting. People owning property within 300 feet of the subject property will also be notified by the City.

The PCD staff will then send a letter to the applicant confirming the recommendation of the Planning Commission to the City Council. Unless the Planning Commission has requested changes to the site plan or submission of additional information, nothing else is required except sign posting.

Step 6: 2nd Sign Posting

The second sign must be posted on the property 10 days before the City Council meeting. An affidavit is required for this sign, as well, and will be kept on file.

Step 7: Second Public Hearing and Final Determination

The City Council will hold a second public hearing of the request and will allow anyone interested to speak for or against the request. The City Council is an elected board, which considers Special Use Permits on the second and fourth Wednesdays of each month at 8:30 AM. Notice of the request will be placed in the Bradenton Herald 10 days prior to the City Council meeting. After reviewing the evidence presented, it will vote to approve, approve with stipulations, or deny the request. The decision of the City Council may be appealed to Circuit Court and must be done within 30 days of its decision.

SPECIAL USE PROCEDURES

SA 18. 4581



Agent Authorization Form

Department of Planning & Community Development
101 Old Main Street, Bradenton, FL 34205
Ph: (941) 932-9400
www.cityofbradenton.com

PLANNING & ZONING AGENT AUTHORIZATION FORM

Property Address: 3204 and 3304 43rd St W, Bradenton, FL

I, Bradenton Christian School Society, Inc., the registered property owner(s) of the above noted property, do hereby authorize

Nathan Kragt, PE

ZNS Engineering, L.C.

Print Name of Agent

Company Name

to act on my behalf and take all actions necessary for the processing, issuance and acceptance of this permit or certification and any and all standards and conditions applicable.

[Signature]
Signature of Owner(s)
[Signature]
Signature of Agent

3304 43rd St W, Bradenton, FL 34209

Owner(s) Address (if different than property above)

201 5th Ave Dr E, Bradenton, FL 34208 - (941) 748-8080

Agent Address and Phone

STATE OF FLORIDA, MANATEE COUNTY

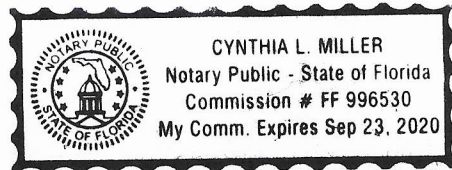
The Foregoing instrument was acknowledged before me this 11 day of February 2019,

produced personally known respectively, as

as identification and who did (did not) take an oath:

[Signature]
Signature

Cynthia L. Miller, Notary Public
Print Name



State of Florida
My Commission Expires: 9/23/20

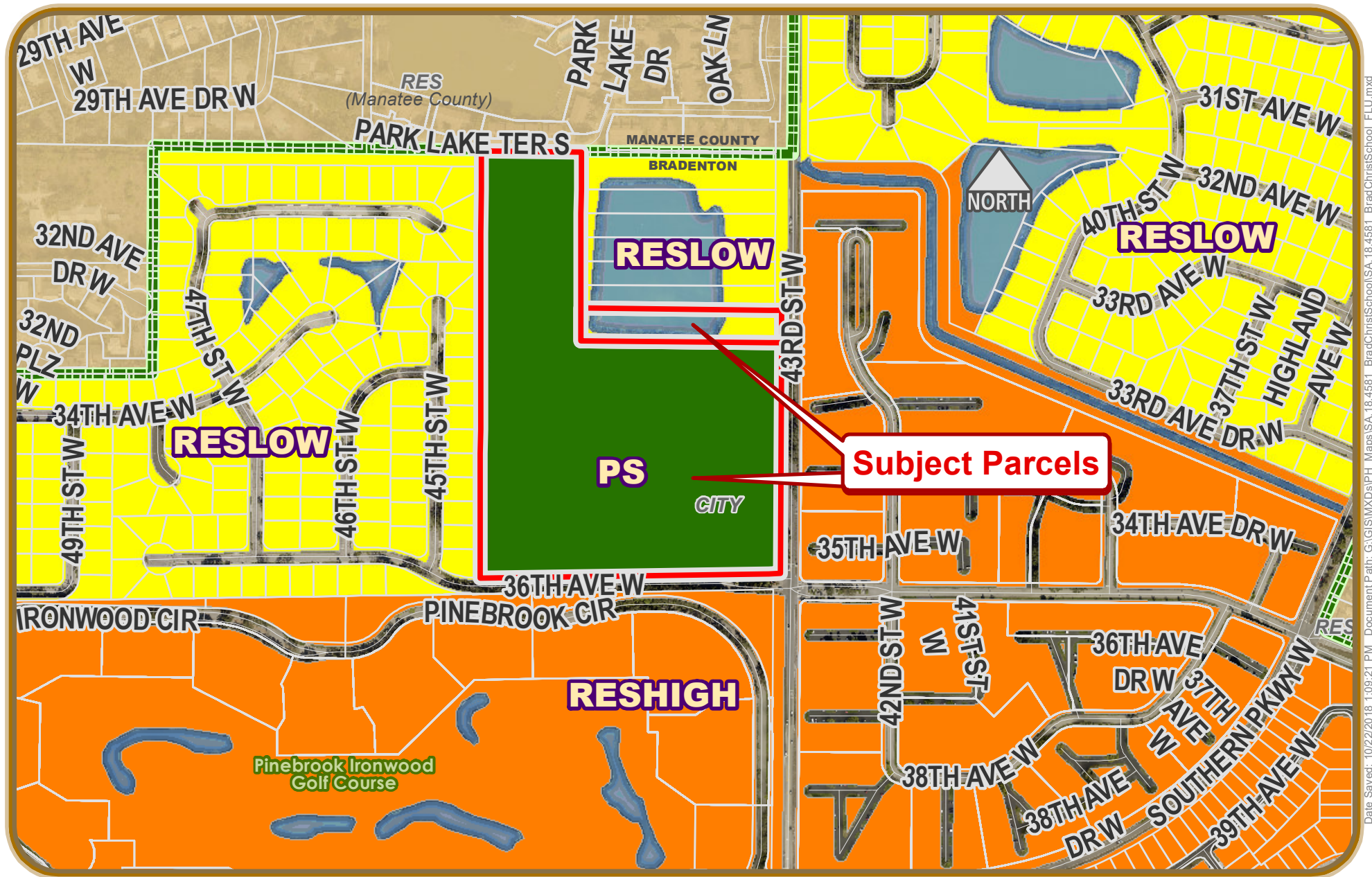


Location



- ☒ Subject Parcels
☐ Other Parcels
☒ City of Bradenton

Prepared by the City of Bradenton
Department of Planning and
Community Development



SA.18.4581 Bradenton Christian School

Owner: Bradenton Christian School

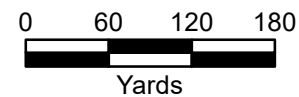
Agent: Nathan Kragt, ZNS

3204 & 3304 43rd Street West

Parcel #s 5080510059 & 5080310054



Future Land Use



Legend




- Subject Parcels
- Other Parcels
- City of Bradenton

Prepared by the City of Bradenton
Department of Planning and
Community Development



Zoning



-  Subject Parcels
 Other Parcels
 City of Bradenton

Prepared by the City of Bradenton
Department of Planning and
Community Development

October 2, 2018

Ms. Catherine Hartley, AICP, CNU-a
City of Bradenton
101 Old Main Street
Bradenton, FL 34205

RE: Bradenton Christian School
Special Use Permit Amendment Application

Dear Ms. Hartley:

On behalf of the Bradenton Christian School, ZNS Engineering, L.C. is respectfully requesting a Special Use Permit Amendment for the proposed Gymnasium and Sports Fields. The Special Use Permit Amendment application will allow for construction of a new Gymnasium building with a new football, soccer, baseball, and volleyball fields and associated site work.

Previous Approvals for Bradenton Christian School include the following:

- M-77-58 - Expansion of existing facility for gym.
- August 1977 - Permit issued for the addition of an activity center.
- E-SE-79-05 - Expansion for 4 additional classroom buildings. The plan submitted for this expansion included the football/soccer field.
- E-SE-80.03 - Expansion for high school building.
- M.81.17 - Amendment for parking lot relocation.
- V-93-10 - Variance to increase sign square footage from 32 to 40.
- E-SE-96-13 - Expansion and phasing plan for parking, excavation, stormwater facility, basketball courts, four buildings, an addition to the high school, a bus driveway and drop-off.
- SA.09.0018 - Expansion of an existing special use in order to install stadium lighting for school football/soccer field.
- SA.15.3388 - Expansion for Middle School Building.

Please find the following items enclosed as part of the Special Use Amendment Application Package:

1. Special Use Amendment Application
2. Agent Authorization Form
3. Application Fee in the amount of \$1,070
4. Warranty Deeds
5. Boundary Surveys
6. Pre-Application Notes September 4, 2018
7. SA.15.3388 Middle School Special Use Amendment Approval Letter and Plan
8. Site Photographs (Existing Field Conditions)
9. Special Use Amendment Review Criteria Narrative
10. Conceptual 3D Images of Gymnasium and Sports Fields
11. Aerial Site Plan
12. Overall Site Plan

The photometrics plan will be submitted under separate cover. Please let me know if you have any questions or need additional information.

Respectfully submitted,
ZNS ENGINEERING, L.C.



Rachel Whitcomb Layton, AICP
Director of Planning

January 31, 2019

Ms. Catherine Hartley, AICP, CNU-a
City of Bradenton
101 Old Main Street
Bradenton, FL 34205

RE: Bradenton Christian School
Special Use Permit Amendment – Letter of Request (Revised)

Dear Ms. Hartley:

On behalf of Bradenton Christian School, ZNS Engineering, L.C. is respectfully submitting this letter of request for the Special Use Amendment. The Special Use Amendment is required under 2.2.4.1.b.ii. as the expansion exceeds the limits or conditions as set for the in the original Special Use Permit approval and subsequent Special Use Amendments. The Special Use Amendment includes: Field Lighting, Sports Field, Gymnasium, Parking Lot Improvements, two additional signs, and an increase in the project area. The gymnasium will be up to 60,000 square feet in size. The Sports Fields will include grand stands and dug outs. The project area is proposed to increase to add 1.39 acres from Parcel Identification number 5080510059. The remainder will continue its residential use. Please find below the details of the request and the justification of requests that exceed the Land Use Regulations.

1. The applicant desires to replace the field lighting as part of the improvements to the sports fields. The light fixtures exceed the allowable 35-foot fixture height requirement in Section 7.4.3.

The proposed light fixtures exceed 35 feet in height. The proposed setback is thirty feet from the property lines. The use of a taller pole in a spill and glare sensitive environment is necessary to allow for adequate and safe light distribution to the field of play while maintaining a desirable aiming angle as permitted under Section 7.7.1. This allows the light source to be shielded and cuts light off to spill sensitive areas while maintaining desirable on-field lighting. Using a shorter light pole would expose the light source, which can expose spill sensitive areas to an excess of spill and glare. The pole heights requested are 70', 80', and 90'

2. The applicant desires to add two entrance signs to aesthetically enhance the project frontage. Section 5.5.3.2. Non-Residential Buildings permits one monument sign.

The Land Use Regulations do not address non-residential project entrance signs. The signs will act as an end cap to the existing black rail fence along 43rd Street West. The proposed signs will be 8 feet in height and 20 feet in length. The sign will be oriented toward the street. The signs are not the prototypical monument sign for non-residential developments.

3. The applicant desires the ability to increase the Maximum Percent of Impervious Surface allowed under Land Use Regulation 3.2.2.1. The property is in the R-1 zoning district which provides a maximum of 50 percent impervious surface area.

The Land Use Regulations do not address an increase in impervious surface area for non-residential projects in the residential zoning districts. The proposed use is a permitted use in the zoning district. The applicant is requesting a Maximum Impervious Surface area of 70 percent. This increased impervious surface area will accommodate the sports fields and corresponding improvements. The stormwater design for the project will be reviewed by the City of Bradenton and Southwest Florida Water Management District for compliance with all stormwater requirements to ensure no adverse impacts to adjacent residents.

Please let me know if you have any questions or need additional information.

Respectfully submitted,
ZNS ENGINEERING, L.C.



Rachel Whitcomb Layton, AICP
Director of Planning

Special Use Amendment Review Criteria

Bradenton Christian School – Gymnasium and Sports Field Expansion

Findings of Fact

Prepared by:
Rachel Whitcomb Layton, AICP
ZNS Engineering, L.C.

Bradenton Christian School has existed at 3304 43rd Street West since 1960. The City of Bradenton has approved numerous Special Use Permits and Amendments as the school has grown over the years. The proposed expansion for the Sports Complex requires a Special Use Amendment. There are no additional student stations included in this request. All of the proposed improvements will be permitted with one Site Improvement Plan Permit. The applicant anticipates receiving Site Improvement Plan approval in the 2nd Quarter of 2019 and completing construction of the proposed improvements within two years of starting. The scope of work includes: Field Lighting; Sports Fields, Grand Stands, Dugouts, etc.; Gymnasium; Parking Lot Improvements; and Signage. The Special Use Amendment request also adds 1.02 acres of land from Parcel 5080510059. The existing residential use will remain in a conforming condition. A lot split and lot combination request will be submitted to the Manatee County Property Appraiser's Office. Bradenton Christian School Staff will host neighborhood meetings prior to the City Council Public Hearing.

1. Adequacy of ingress and egress to property and proposed structures with particular regard for automobiles and pedestrian safety and convenience, traffic generation, flow and control and emergency access.

There are two existing ingress and egress points to the existing School Facility located on 36th Avenue West and 43rd Street West. No additional ingress or egress points are proposed as part of the expansion. Emergency vehicles can utilize all ingress and egress points. Sidewalks are proposed to provide access from the existing campus to the new Gymnasium and also to provide emergency egress from the Building.

2. Location and design of off-street parking and loading areas in regard to the items in "1" above and the smoke, noise, glare, dust, vibrations, fumes, pollution and other effects of the use on adjoining properties.

Please see the attached Overall Site Plan for the location of off-street parking and loading. The existing number of parking spaces adequately serves the existing facility and the proposed expansion. However, parking modifications are included in this application. The site plan provides the details on the parking modifications. The existing facility includes 291 parking spaces. The school campus is over parked as it compares to the required parking outlined below.

The Land Use Regulations provide a parking requirement for Educational & Religious Uses at 1 per staff plus additional requirements as follows: One space per 100 students for Elementary and Intermediate School; One space per 5 students for High School. There is a maximum of 75 faculty/staff members that work on the campus. There is a maximum of 330 elementary students, 195 intermediate (middle school) students, and

260 high school students at the school. This results in a requirement of 133 parking spaces.

The existing High School Building also functions as a Religious Establishment (Church) on the weekends. The Church has a maximum seating capacity of 450 seats. The Land Use Regulations require one parking space per 3 seats for a total of 150 required parking spaces.

The two uses will not operate during the same hours and the existing parking spaces will be sufficient for the operation of the facility.

Modifications are proposed to the existing parking lot on the north side of the elementary building. Bus parking is added near the sports fields. Construction methods to prevent dust, fumes, and pollution will be implemented to avoid impacts to adjoining properties. Additionally, no impacts from noise, glare, dust, vibrations, fumes, pollution or other effects are anticipated on the adjoining properties.

3. Location and design of refuse and service areas in regard to availability, adequacy and effect upon surrounding properties.

The existing refuse and service areas will adequately serve the existing School and the proposed expansion. There is no proposed change to the refuse and services areas, therefore there is no anticipated effect upon the surrounding properties.

4. Utilities, in regard to location, availability, adequacy and compatibility with surrounding properties.

Utilities are available and currently serve the existing Facility. New utility connections will be provided to the proposed gymnasium expansion.

5. Screening, buffering or separation of any nuisance or hazardous feature of the use.

The proposed Special Use Permit Amendment does not propose any nuisance or hazardous features for its use as a School. Landscaping and screening will be provided in accordance with the Land Use Regulations.

6. Proposed signs and exterior lighting with reference to glare, traffic safety and compatibility and harmony with surrounding properties.

There are two proposed project entrance wall signs along 43rd Street West as part of this application for a Special Use Permit Amendment. The signs will act as an end cap to the black rail fence along the 43rd Street West frontage. These are not the proto-typical monument signs for non-residential projects, but will serve as project entrance signs.

The photometric plan will provide details on the total foot candle analysis of the proposed fixtures. From this analysis, it is shown that the sports fields will receive the majority of the concentrated light, as designed, to efficiently provide light for night time activities. The photometric diagram will show the light is directed to the field

area and therefore will have minimal light intrusion into the neighboring properties. The light fixtures will be LED and will be shielded. The lights will be setback thirty feet from the property line on the west and north.

The area surrounding the School Facility is primarily residential in nature, the design of the exterior lighting will be in harmony with the surrounding properties. Photographs of the existing condition are included in this application. The previous approval for site lighting included a thirty-foot setback and a fifty-foot height limitation. The preliminary landscape plan includes details for screening the adjacent neighbors, where the existing vegetation needs to be enhanced.

The proposed light fixtures exceed 35 feet in height. The proposed setback is thirty feet from the property lines. The use of a taller pole in a spill and glare sensitive environment is necessary to allow for adequate light distribution to the field of play while maintaining a desirable aiming angle. This allows the light source to be shielded and cuts light off to spill sensitive areas while maintaining desirable on-field lighting. Using a shorter light pole would expose the light source, which can expose spill sensitive areas to an excess of spill and glare.

7. Effect upon the value of surrounding properties; the use shall not hinder the development of nearby vacant properties or adversely affect their economic values.

The surrounding properties are residential in nature. The area where the gymnasium is proposed is currently used as a baseball field. The sports field improvements include: adding lighting to the fields, relocate the grandstand/dugouts/restrooms, create sand volleyball court, and add stormwater ponds. No adverse impacts to the surrounding properties are anticipated with the new gymnasium and upgraded sports fields on the Bradenton Christian School property.

8. Adequacy of land and/or building which are to be used.

The subject property is adequate to support the proposed Special Use Permit Amendment. The site is 19.95 +/- acres in size and the gymnasium building is proposed at 60,000 +/- square feet in size.

9. General compatibility or appropriateness with adjacent properties and other property in the district with special consideration given to proposed hours of operation.

Bradenton Christian School has been in operation on this property since 1960. Adjacent properties are residential in nature. The proposed use of the property as an educational facility provides a residential support and community use of the land. The hours of operation of the School are compatible with these adjacent properties and other properties within the district. The proposed hours of operation are 6:00 a.m. to 7:00 p.m. As this is proposed as an educational facility, there will be occasional evening events during the school year.

10. Environmental quality of the district in which the use is proposed and the effect the Special Use Permit might have on such quality.

The district is currently developed as is the subject property for this Special Use Permit Amendment.

11. Consistency with the City of Bradenton Comprehensive Plan.

The Special Use Permit Amendment Application is consistent with the Goals, Objectives, and Policies of the City of Bradenton Comprehensive Plan. The continued improvement of the Bradenton Christian School property promotes the intent of the applicable policies of the Comprehensive Plan.

Objective 1.6 Public Schools

To provide the opportunity for the location of adequate school sites within the City consistent with growth and development patterns and compatibility with nearby uses.

Bradenton Christian School is a private Christian School serving children from Kindergarten through 12th Grade. The facility will be utilized for this purpose in addition to religious services.

Policy 1.6.3 Environmental and Transportation Compatibility

The City shall consider environmental concerns and traffic patterns when a proposed school site is under review to ensure compatibility with on-site and adjacent natural features and the health and safety of students, neighborhood residents, and local motorists.

Bradenton Christian School currently operates a facility at the site. The new gymnasium building and upgraded sports fields will serve the existing student population.

Warranty Deed

(STATUTORY FORM—SECTION 689.02 F.S.)

of the Law Offices of
HARRISON, HARLEE, PORGES & BAILEY
1205 Manatee Avenue West
BRADENTON, FLORIDA 33505

This Indenture, Made this 7th day of February 1979, Between

J. HENDERSON BROCK, a single person,

of the County of Manatee, State of Florida, grantor*, and

BRADENTON CHRISTIAN SCHOOL SOCIETY, INC., a non-profit Florida corporation,

whose post office address is 3304 43rd Street West, Bradenton, Florida, 33505,

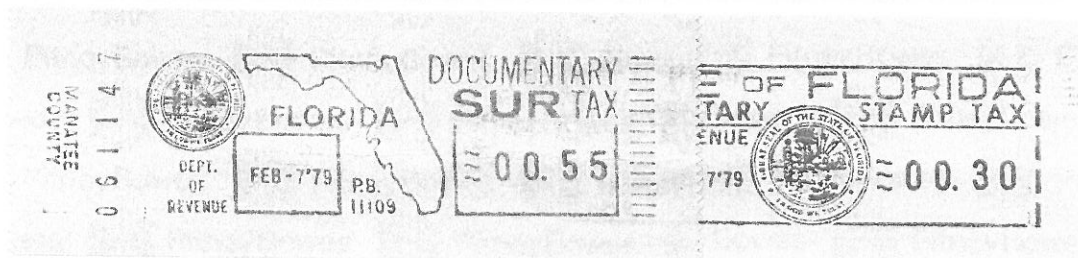
of the County of Manatee, State of Florida, grantee*,

Witnesseth, That said grantor, for and in consideration of the sum of

----- Ten (\$10.00) ----- Dollars,
and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby
acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following
described land, situate, lying and being in Manatee County, Florida, to-wit:

Lot 5, LESS the Easternmost 111 feet, PETTIGREW PARK, as per plat
thereof recorded in Plat Book 4, page 30, Public Records of Manatee
County, Florida.

ALSO: Begin 20 feet North and 20 feet West of the SE corner of
the SE-1/4 of the SE-1/4 of Section 30, Township 34 South, Range
18 East, thence North 20 feet, thence West 210 feet, thence South
20 feet, thence East 210 feet to the POB.



FILED AND RECORDED
FEB 7 2 14 PM '79
RECEIVED
CLERK
MANATEE CO. FLA.

688426

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all
persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

[Signature of J. Henderson Brock] *[Signature of Geo. H. Harrison]*
J. HENDERSON BROCK (Grantor) GEO. H. HARRISON (Witness)
(Seal)

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

[Signature of J. Henderson Brock] *[Signature of Geo. H. Harrison]*
J. HENDERSON BROCK (Grantor) GEO. H. HARRISON (Witness)
(Seal)

Prepared by and return to:

P. Allen Schofield
Attorney at Law
Schofield and Spencer, P. A.
1429 60th Avenue West Suite 300
Bradenton, FL 34207
941-755-2674
 File Number: 14870-46

ID#50805.1005/9

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Warranty Deed

This Warranty Deed made this 4th day of September, 2015, between **Kimberly D. Smith, n/k/a Kimberly Layne**, joined by her husband, **Charles Layne**, whose post office address is 3204 43rd Street West, Bradenton, FL 34209, grantor, and **Bradenton Christian School Society, Inc.**, a Florida not-for-profit corporation, whose post office address is 3304 43rd Street West, Bradenton, FL 34209, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Manatee County, Florida** to-wit:

THE SOUTH 100 FEET OF THE FOLLOWING DESCRIBED LAND: BEGIN AT THE NE CORNER OF THE S 1/2 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 35 SOUTH, RANGE 17 EAST, MANATEE COUNTY, FLORIDA; THENCE SOUTH ALONG THE EAST LINE OF SAID S 1/2 OF THE NW 1/4, A DISTANCE OF 590.0 FEET; THENCE N 89 DEGREES 34' 54" W, 660.0 FEET; THENCE NORTH 590.0 FEET TO THE NORTH LINE OF SAID S 1/2 OF THE NW 1/4; THENCE S 89 DEGREES 34' 54" E, 660.0 FEET TO THE POINT OF BEGINNING. LESS THE EAST 51.0 FEET FOR ROAD RIGHT OF WAY.

Subject to taxes for 2015 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2014**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Mary Anne Spencer
Sign Witness Name

Kimberly D. Smith, n/k/a Kimberly Layne
Kimberly D. Smith, n/k/a Kimberly Layne

Mary Anne Spencer
Print Witness Name

Barbara S. McCullough
Sign Witness Name

Charles Layne
Charles Layne

Barbara S. McCullough
Print Witness Name

State of Florida
County of Manatee

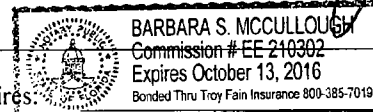
The foregoing instrument was acknowledged before me this 4th day of September, 2015, by Kimberly D. Smith, n/k/a Kimberly Layne, joined by her husband, Charles Layne, who ☐ are personally known or ☒ have produced a driver's license as identification.

[Notary Seal]

Barbara S. McCullough
Notary Public

Printed Name:

My Commission Expires:



Schofield & Spencer, P.A., Attorneys at Law, 1429 60th Avenue West, Suite 300, Bradenton, FL 34207

Phone 941/755-2674, Fax 941/756-0981, Website: www.ssipa.co, E-mail: attorneys@ssipa.co



CITY OF BRADENTON

Department of Planning & Community Development
101 Old Main Street
Bradenton, Florida 34205-7865
(941) 932-9400
www.cityofbradenton.com

Wayne Poston
Mayor

Gene Gallo
Ward 1

Gene Brown
Ward 2

Patrick Roff
Ward 3

Bemis Smith
Ward 4

Harold Byrd, Jr.
Ward 5

October 20, 2015

Rachel Whitcomb Layton, AICP, Director of Planning
ZNS Engineering
201 5th Avenue Drive East
Bradenton, FL 34208

**RE: SA.15.3388 Bradenton Christian School
3304 43rd Street West**

Dear Ms. Layton:

The Bradenton City Council held a Public Hearing on Wednesday, October 14, 2015, to consider the captioned Special Use Amendment. The request was approved with the following stipulation:

1. Provide a 10 ft. landscape buffer on the west property line adjacent to the new Middle School building.

Please contact me should there be any questions or concerns by telephone at (941) 932-9413 or e-mail at Christopher.Gratz@cityofbradenton.com.

Regards,

Christopher M. Gratz, AICP
Development Services & Zoning Manager



Pre-Application Meeting Staff Notes PM.18.3825

Applicant:	Bradenton Christian School, owner/Nathan Kragt, ZNS 748-8080						
Property Address:	3204 & 3304 43rd St W						
Meeting Date:	9/4/18	Time:	1pm	Staff:	MM, MRS		
Project:	Update sports complex w/ lights, artificial turf, new bleachers, gym renovation						
Ward:	2				Acreage:	20.16	
Parcel ID:	5080310054 & 5080510059			Flood Zone:	X		
Request:	Provide direction on proposed modifications			Permitted Use?	Yes		
Zoning:	R-1 single family		FLUM:	PS, Public & Private Schools			
Minimum Lot Size:	n/a		Minimum Lot Width:	50'			
Setbacks:	Front:	20	Side:	8	Rear:	20	
Maximum Dwelling Units:	n/a						
Maximum F.A.R.:	n/a						
Maximum Height:	35'						
Max Building Coverage (%):	50%						
Max Impervious Surface (%):	50%						
Parking:	1/staff & faculty + (high) 1/5 students + (elem/int) 1/100 students						
Overlay? (Y/N)	No						
Notes: School is approved Special Use (SA-09-0018 most recent action) – Pre-App in 2017 re: baseball and softball field lighting and property acquisition. Does proposed amendment require SU expansion permit: <ul style="list-style-type: none"> - <= 20% of the approved use, structure or land area; - Exceeds the limits or conditions as set forth in the original SU permit approval; or - Addition of an accessory use. Scope explained: <ul style="list-style-type: none"> - Convert playing fields to turf - Add lighting to softball and baseball fields - Significant addition to existing gymnasium and locker room (demo existing and build new as a single building) - Relocate grandstand / dugouts / restrooms - Addition of recently acquired duplex property to overall site 							

City of Bradenton, Florida
Department of Planning and Community Development



Next Steps:

Special Use (SU) Permit application filed – to Planning Commission for Public Hearing and recommendation then to City Council for Public Hearing and final action. (6 to 8 week process)

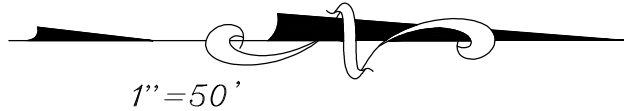
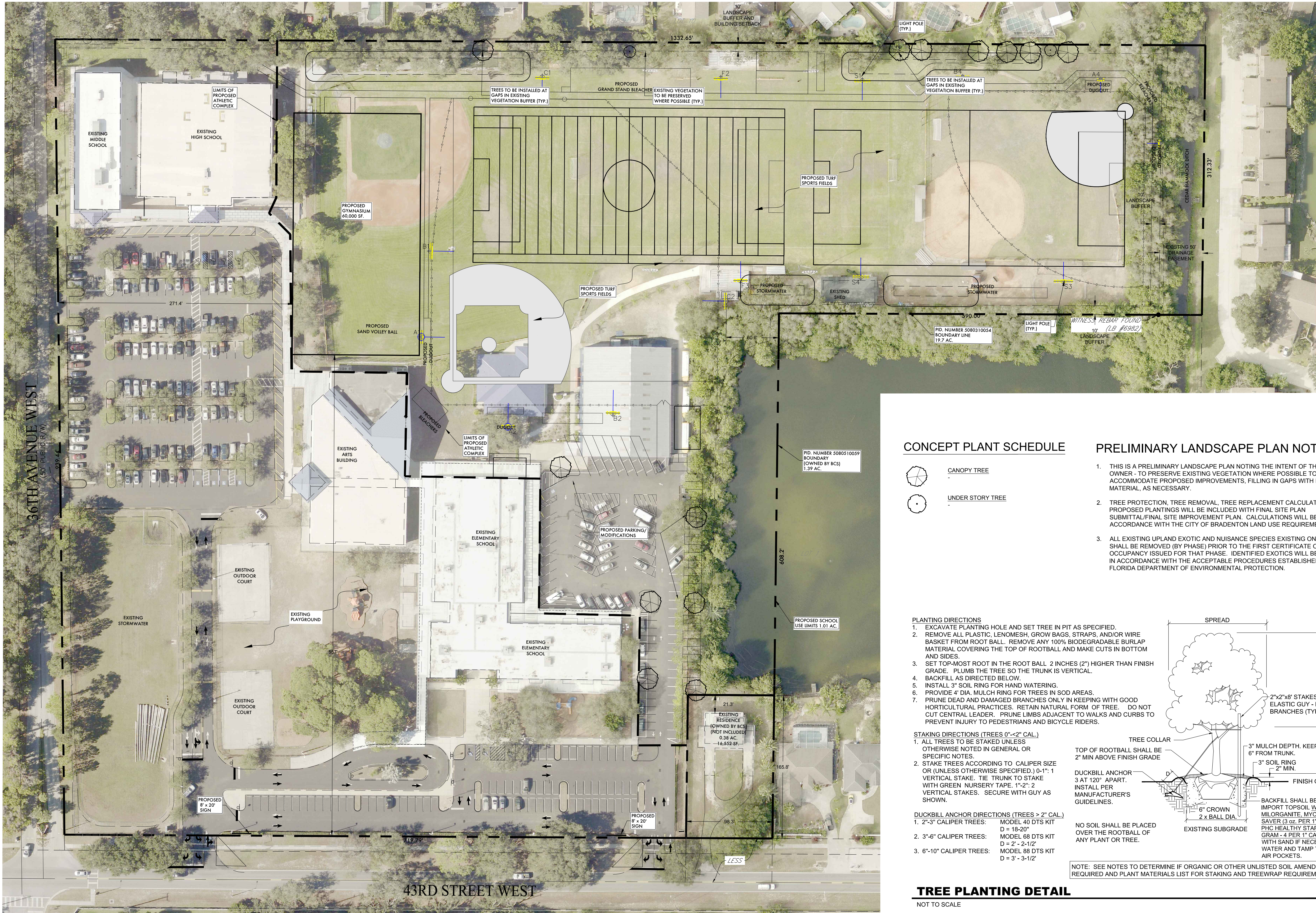
SU application to include complete site plan showing all contemplated improvements and any mitigation proposed. Photometric plans to illustrate impacts of lighting.

Acknowledge potential for phasing and overall project timeline.

Omit incorporation of duplex lot adjoining school site – come back later if use change is planned.

Site Improvement Permit (SIP) will be required.

SITE PLAN



CONCEPT PLANT SCHEDULE

- CANOPY TREE
- UNDER STORY TREE

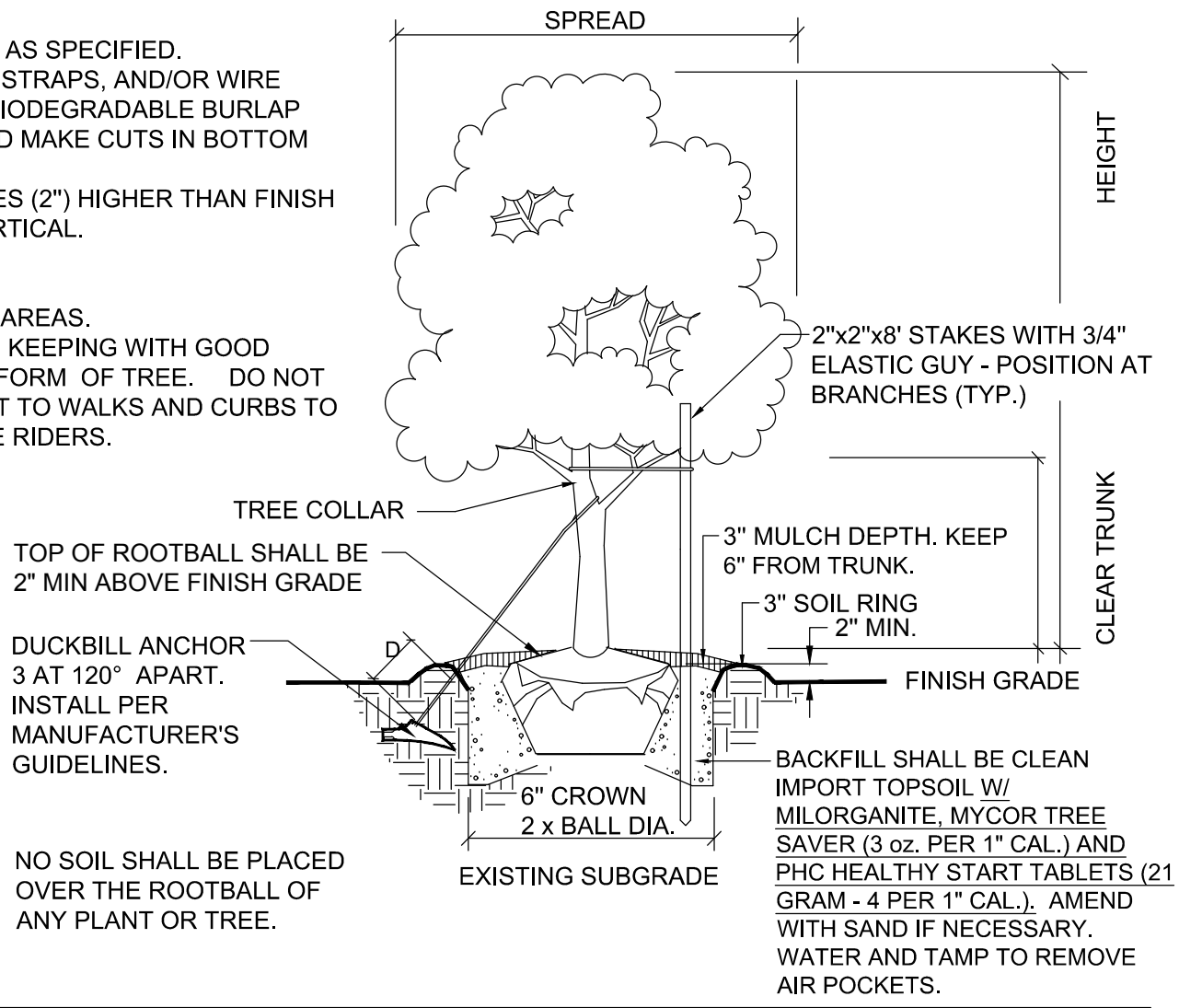
PRELIMINARY LANDSCAPE PLAN NOTES

- THIS IS A PRELIMINARY LANDSCAPE PLAN NOTING THE INTENT OF THE PROJECT OWNER - TO PRESERVE EXISTING VEGETATION WHERE POSSIBLE TO ACCOMMODATE PROPOSED IMPROVEMENTS, FILLING IN GAPS WITH NEW MATERIAL, AS NECESSARY.
- TREE PROTECTION, TREE REMOVAL, TREE REPLACEMENT CALCULATIONS, AND PROPOSED PLANTINGS WILL BE INCLUDED WITH FINAL SITE PLAN SUBMITTAL/FINAL SITE IMPROVEMENT PLAN. CALCULATIONS WILL BE IN ACCORDANCE WITH THE CITY OF BRADENTON LAND USE REQUIREMENTS
- ALL EXISTING UPLAND EXOTIC AND NUISANCE SPECIES EXISTING ON THE SITE SHALL BE REMOVED (BY PHASE) PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY ISSUED FOR THAT PHASE. IDENTIFIED EXOTICS WILL BE REMOVED IN ACCORDANCE WITH THE ACCEPTABLE PROCEDURES ESTABLISHED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

- PLANTING DIRECTIONS
- EXCAVATE PLANTING HOLE AND SET TREE IN PIT AS SPECIFIED.
 - REMOVE ALL PLASTIC, LENOMESH, GROW BAGS, STRAPS, AND/OR WIRE BASKET FROM ROOT BALL. REMOVE ANY 100% BIODEGRADABLE BURLAP MATERIAL COVERING THE TOP OF ROOTBALL AND MAKE CUTS IN BOTTOM AND SIDES.
 - SET TOP-MOST ROOT IN THE ROOT BALL 2 INCHES (2") HIGHER THAN FINISH GRADE. PLUMB THE TREE SO THE TRUNK IS VERTICAL.
 - BACKFILL AS DIRECTED BELOW
 - INSTALL 3" SOIL RING FOR HAND WATERING.
 - PROVIDE 4" DIA. MULCH RING FOR TREES IN SOD AREAS.
 - PRUNE DEAD AND DAMAGED BRANCHES ONLY IN KEEPING WITH GOOD HORTICULTURAL PRACTICES. RETAIN NATURAL FORM OF TREE. DO NOT CUT CENTRAL LEADER. PRUNE LIMBS ADJACENT TO WALKS AND CURBS TO PREVENT INJURY TO PEDESTRIANS AND BICYCLE RIDERS.

- STAKING DIRECTIONS (TREES 0'-2' CAL.)
- ALL TREES TO BE STAKED UNLESS OTHERWISE NOTED IN GENERAL OR SPECIFIC NOTES.
 - STAKE TREES ACCORDING TO CALIPER SIZE OR (UNLESS OTHERWISE SPECIFIED,) 0-1": 1 VERTICAL STAKE. TIE TRUNK TO STAKE WITH GREEN NURSERY TAPE, 1"-2" 2 VERTICAL STAKES. SECURE WITH GUY AS SHOWN.

- DUCKBILL ANCHOR DIRECTIONS (TREES > 2' CAL.)
- 2"-3" CALIPER TREES: MODEL 40 DTS KIT D = 18-20"
 - 3"-6" CALIPER TREES: MODEL 68 DTS KIT D = 2' - 2-1/2"
 - 6"-10" CALIPER TREES: MODEL 88 DTS KIT D = 3' - 3-1/2"



NOTE: SEE NOTES TO DETERMINE IF ORGANIC OR OTHER UNLISTED SOIL AMENDMENTS ARE REQUIRED AND PLANT MATERIALS LIST FOR STAKING AND TREETWRAP REQUIREMENTS.

TREE PLANTING DETAIL

NOT TO SCALE

PRELIMINARY LANDSCAPE PLAN - WEST BUFFER
FOR
BRADENTON CHRISTIAN SCHOOL

LOCATED IN:
SECTION 4, TOWNSHIP 25 SOUTH, RANGE 17 EAST
MANATEE COUNTY, FLORIDA

DESIGNED	KL	KL
DRAWN	KL	KL
DATE	10/20/18	
JOB NO.	44392	
SCALE	1"=50'	
SHEET	01	

RESPONSES TO COMMENTS FOR CITY OF BRADENTON	KGH	01/17/19
1. REVISED PER UPDATED BASE	KL	01/20/19
2. ZNS ENGINEERING, L.C.		
3. THE DOCUMENT IS PROVIDED AS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ZNS ENGINEERING, L.C. CONSENT IS HEREBY GRANTED TO THE USER OF THIS DOCUMENT IN COMPLIANCE WITH F.S. CHAPTER 119.		
4.		
5.		
6.		
7.		

ZNS ENGINEERING
LAND PLANNING ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

201 54 AVENUE DRIVE EAST BRADENTON, FL 34208
E-MAIL: ZNSENGINEERING.COM | TELEPHONE: 941.748.8080 | FAX: 941.748.3316

KIMBER L. BERTELLER
LANDSCAPE ARCHITECT #0101680

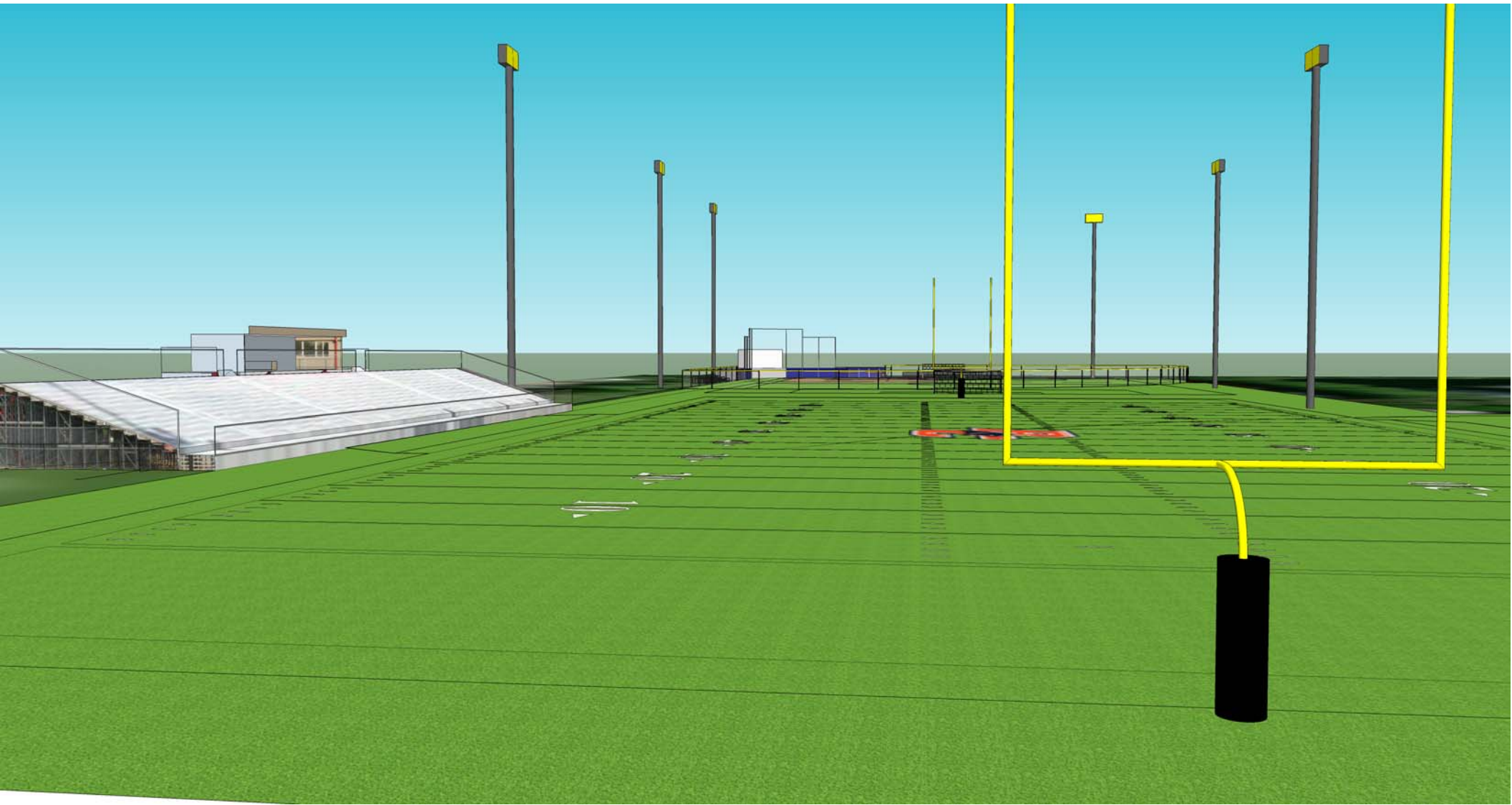
NEW BRADENTON CHRISTIAN GYM & SPORTS COMPLEX



FRONT ENTRY OF NEW BCS GYMNASIUM



BALCONY VIEW OF SPORTS FIELDS



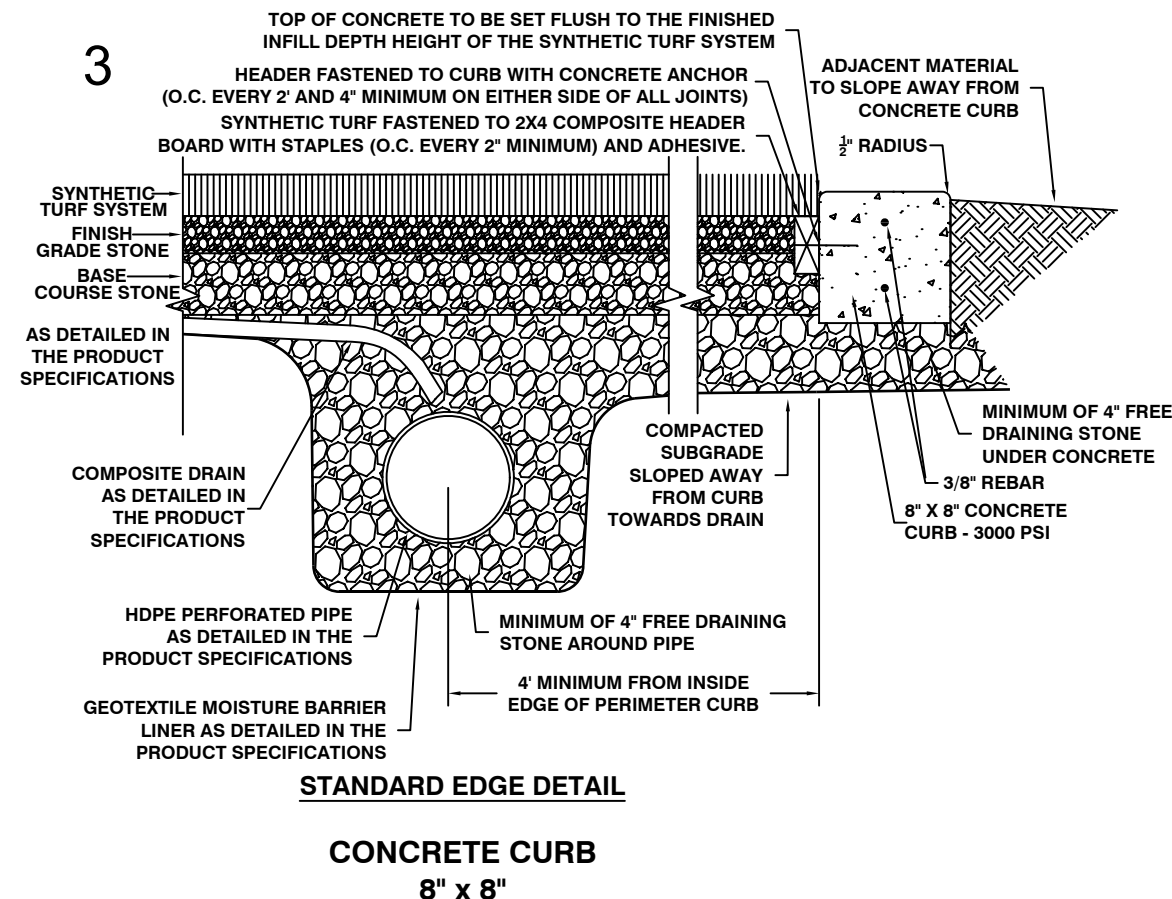
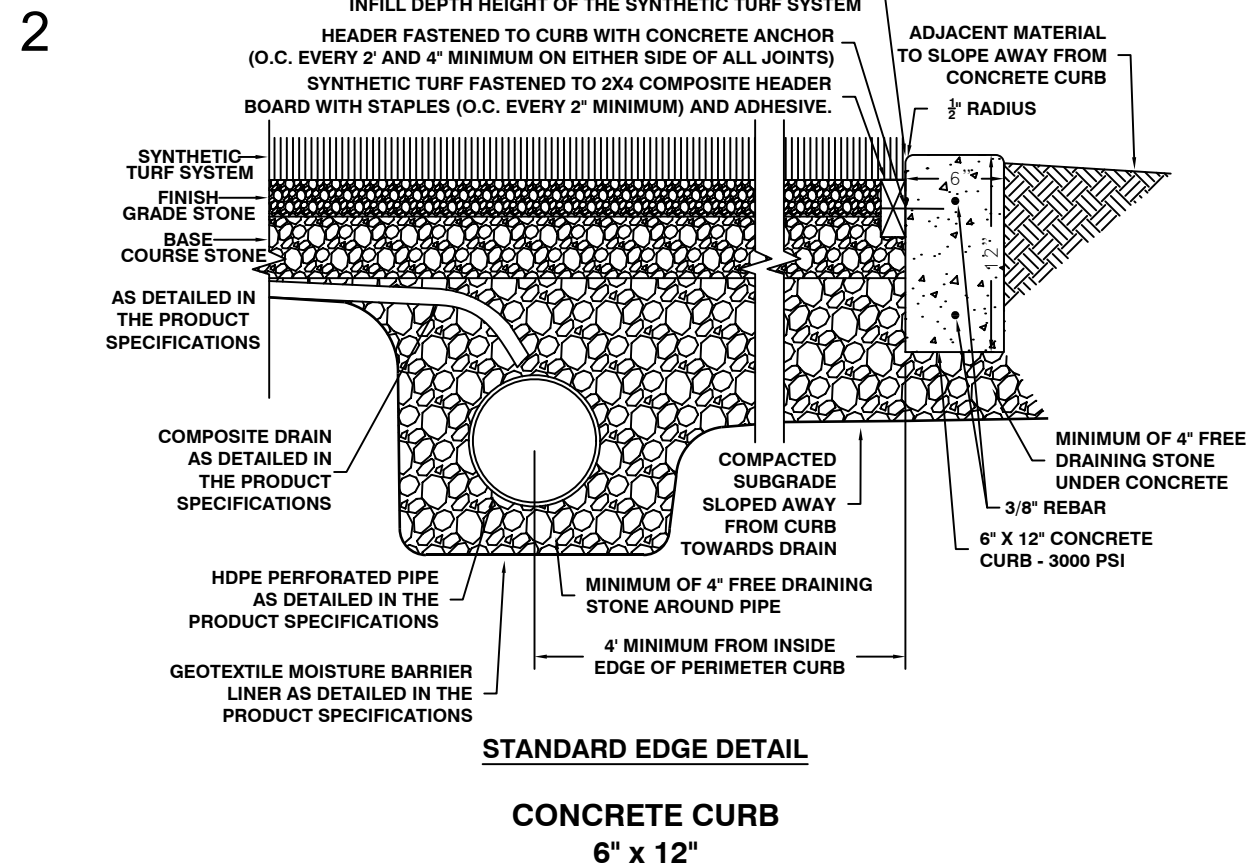
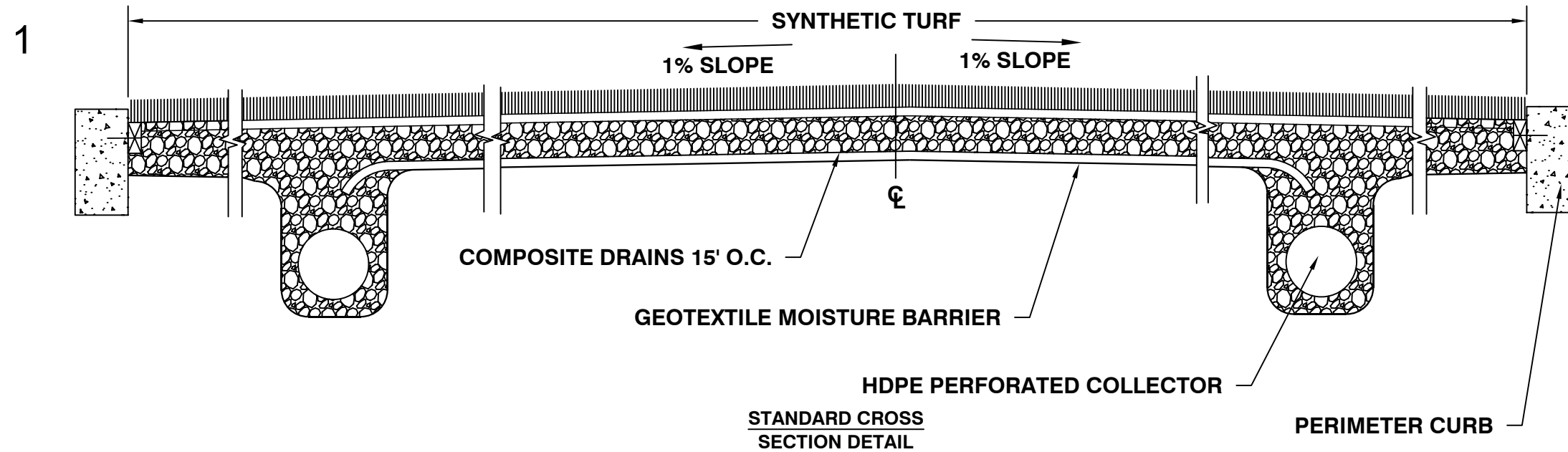
REAR VIEW OF NEW BCS GYMNASIUM



BACK VIEW OF BCS BASEBALL / FOOTBALL / GYM



ARTIFICIAL TURF SPECIFICATIONS



RECOMMENDED HARDWARE:

STAPLES - 1/4" CROWN X 1" - 18 GAUGE STAINLESS STEEL STAPLES

ADHESIVE - PL PREMIUM 375 CONSTRUCTION ADHESIVE

CONCRETE ANCHOR - TAPCON PART#-TCH316234 3/16" X 2-2/34"

REQUIREMENTS ARE AS DETAILED IN THE PRODUCT SPECIFICATIONS

Drawn By: DRAWN

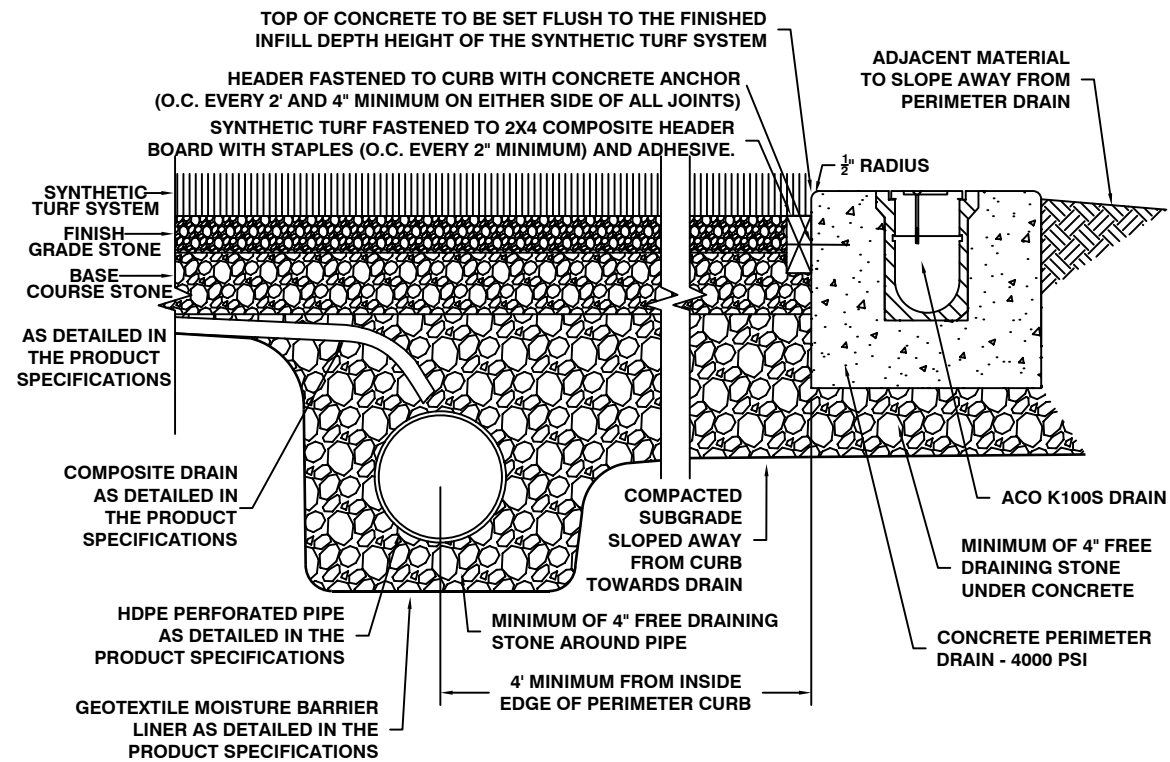
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Issued For: ISSUED

Date: TODAY

Sheet No.: 1 of 1

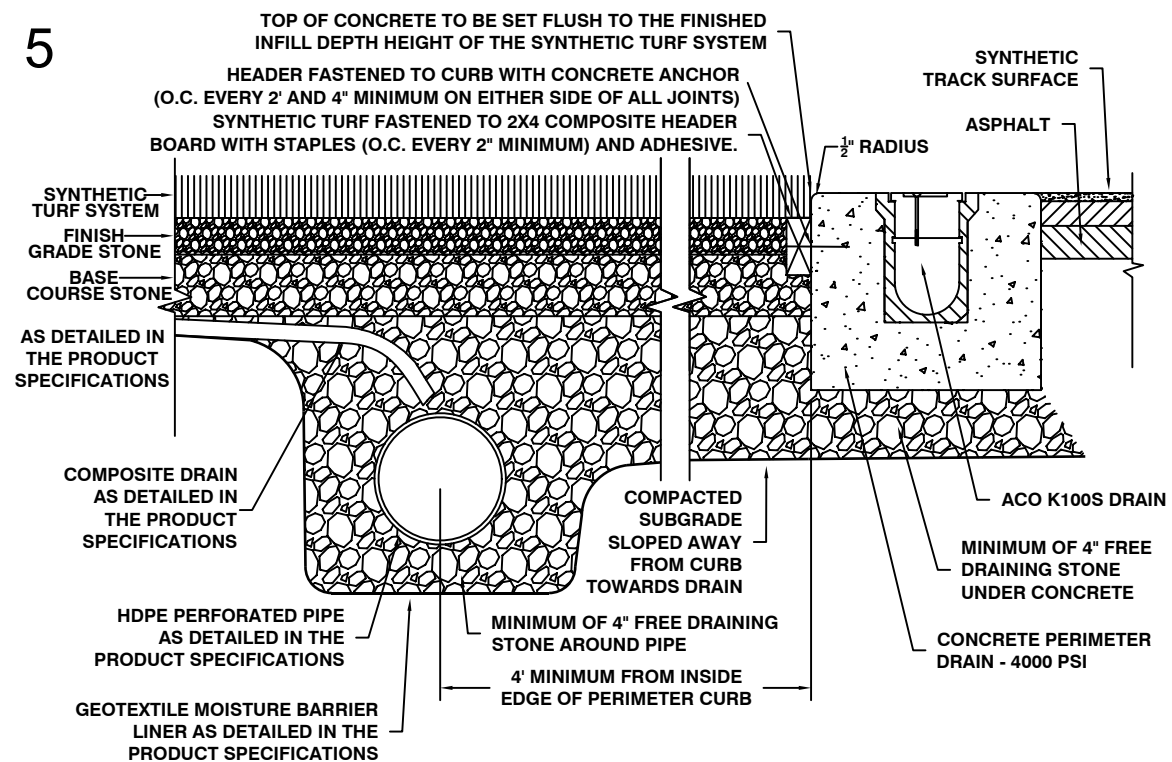
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STANDARD EDGE DETAIL

PERIMETER DRAIN

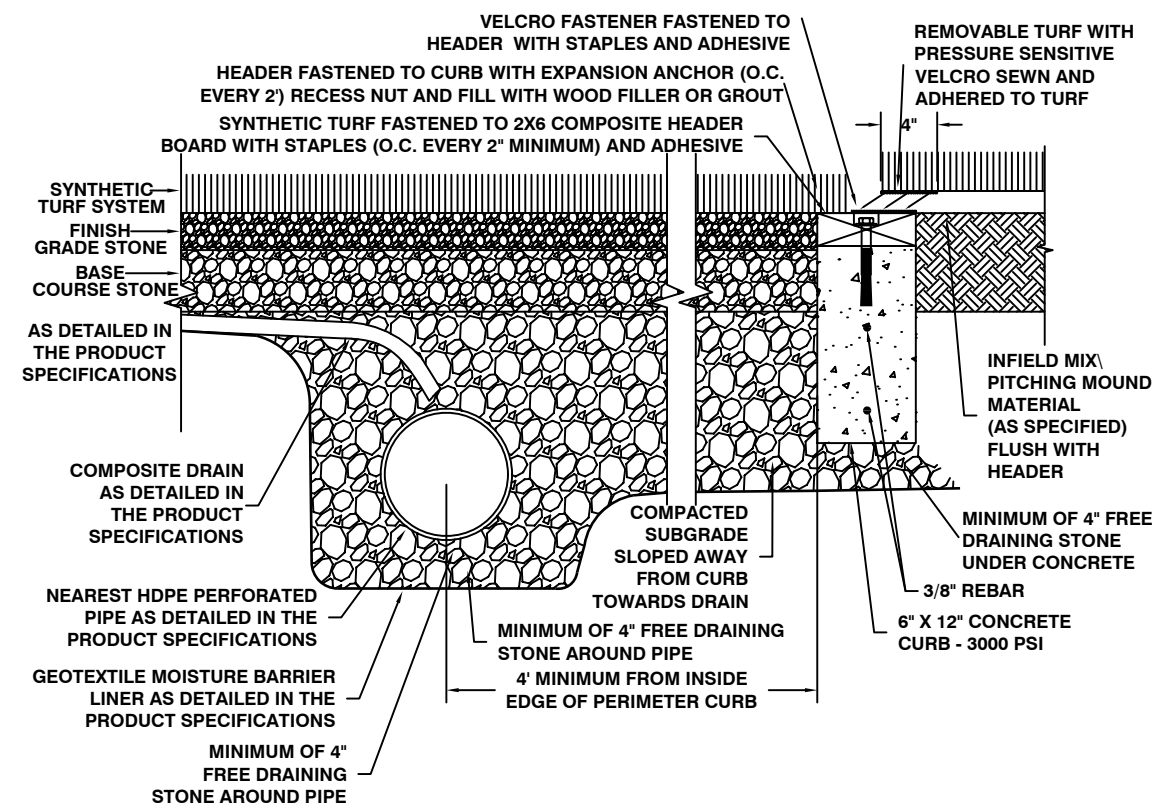
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STANDARD EDGE DETAIL

PERIMETER DRAIN W/ TRACK

6



STANDARD EDGE DETAIL

RECOMMENDED HARDWARE:

STAPLES - 1/4" CROWN X 1" - 18 GAUGE STAINLESS STEEL STAPLES

ADHESIVE - PL PREMIUM 375 CONSTRUCTION ADHESIVE

CONCRETE ANCHOR - TAPCON PART#-TCH316234 3/16" X 2-2/34"

PERIMETER DRAIN - ACO K100S

REQUIREMENTS ARE AS DETAILED IN THE PRODUCT SPECIFICATIONS

RECOMMENDED HARDWARE:

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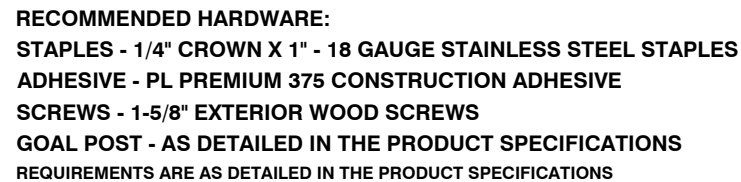
ADHESIVE - PL PREMIUM 375 CONSTRUCTION ADHESIVE

CONCRETE ANCHOR (NUTS/BOLTS) - 1/2" X 6" L SHAPED LAG BOLTS

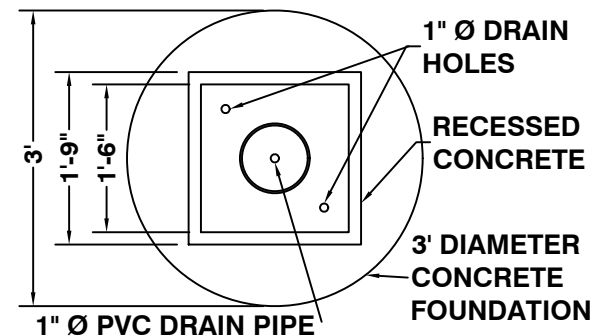
VELCRO - PRESSURE SENSITIVE

REQUIREMENTS ARE AS DETAILED IN THE PRODUCT SPECIFICATIONS

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Issued For:	ISSUED
Date:	TODAY
Sheet No.:	1 of 1



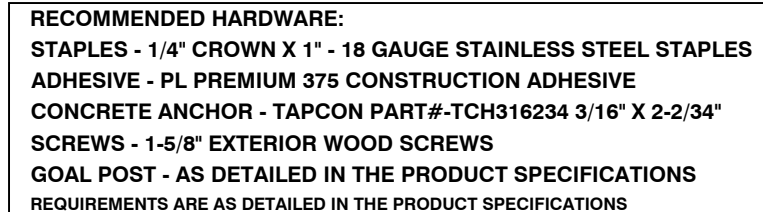
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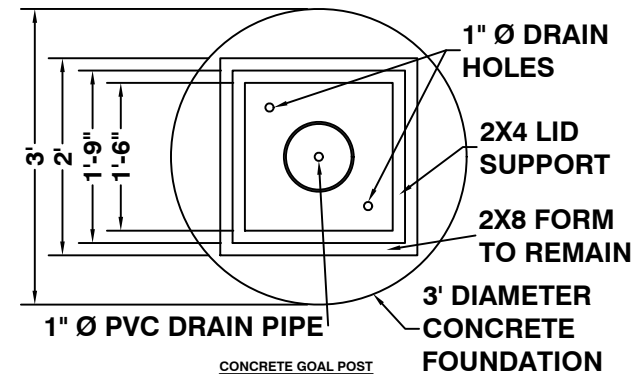
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SCALE: 1'-0" = 1'-0"



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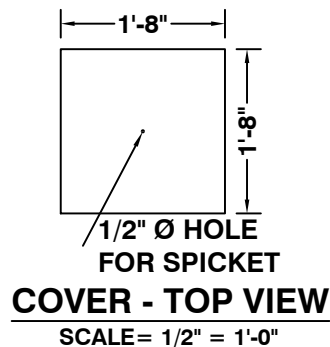


SCALE= 1/2" = 1'-0"



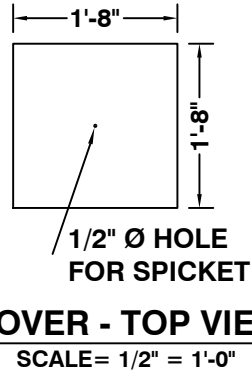
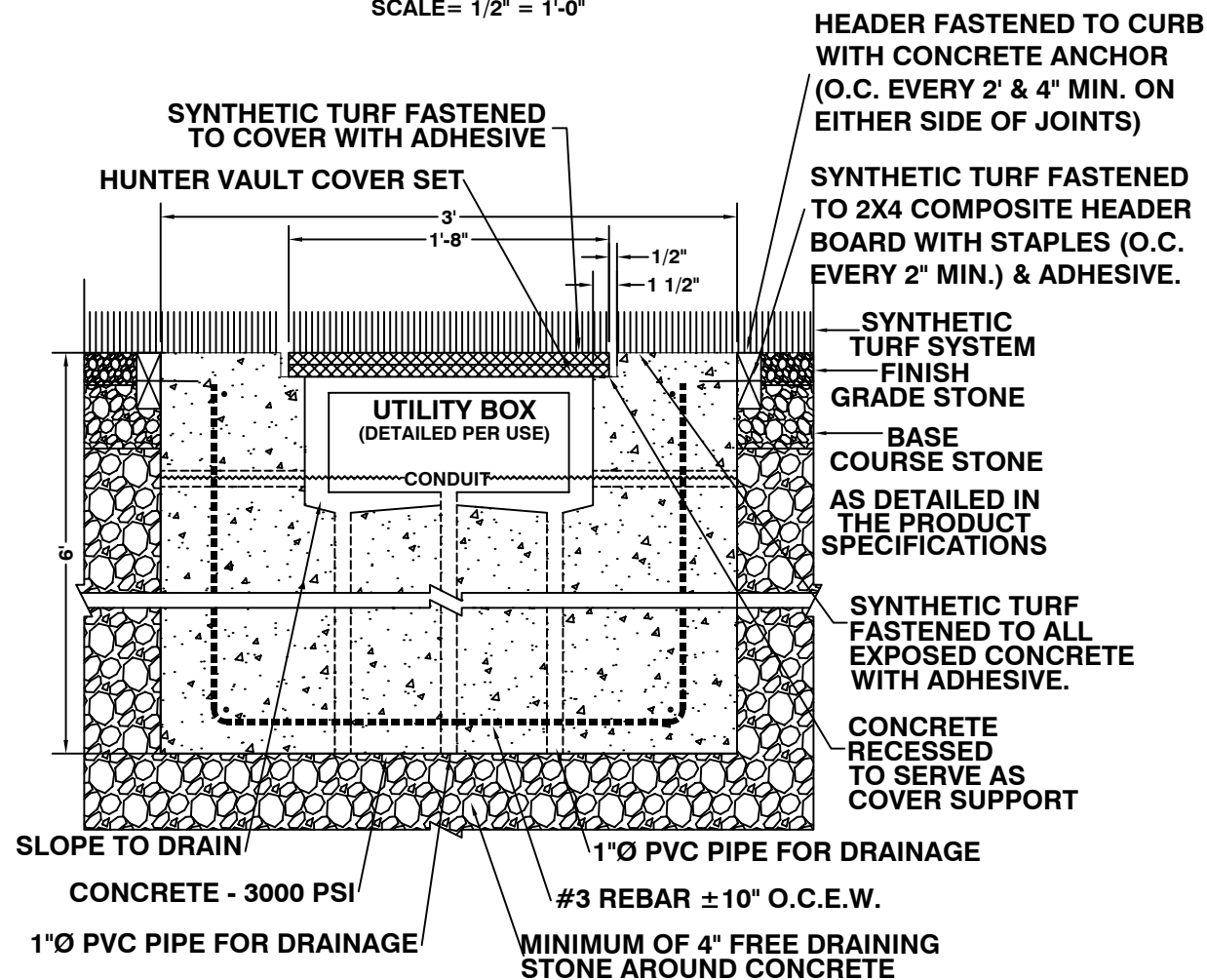
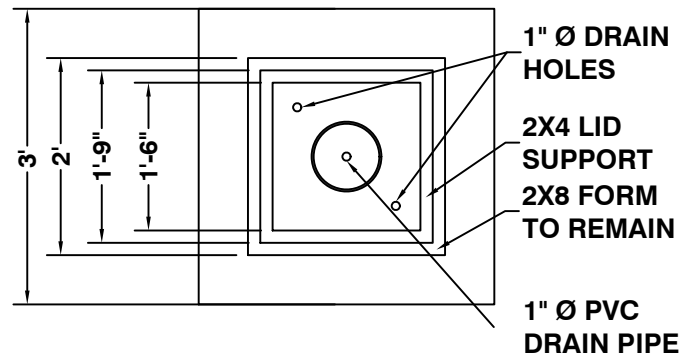
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Issued For:	ISSUED
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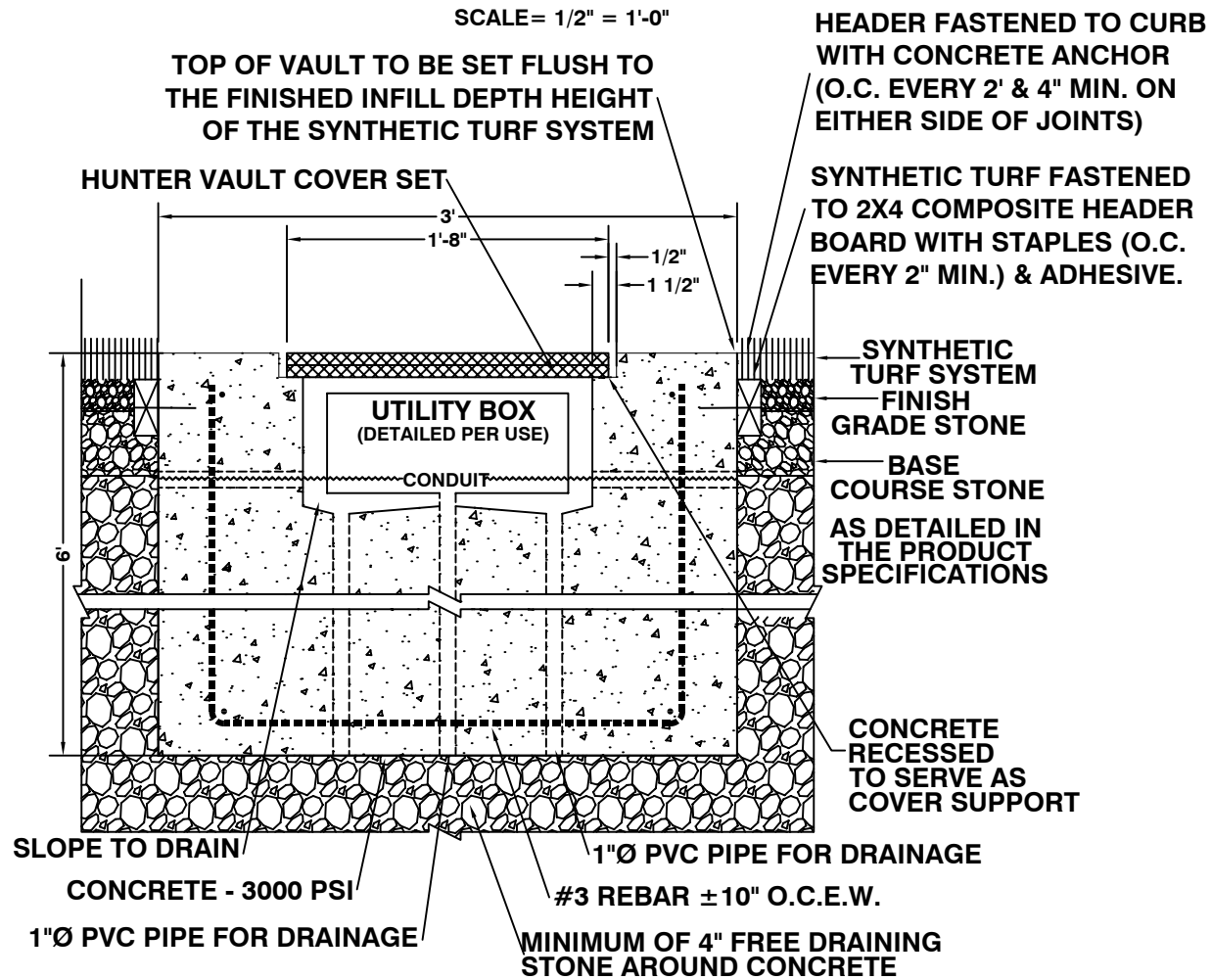
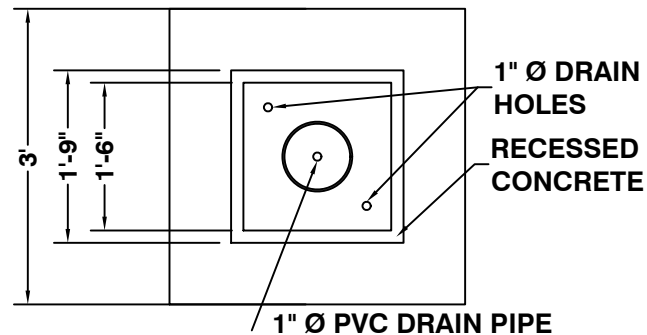
RECOMMENDED HARDWARE:
STAPLES - 1/4" CROWN X 1" - 18 GAUGE STAINLESS STEEL STAPLES
ADHESIVE - PL PREMIUM 375 CONSTRUCTION ADHESIVE
SCREWS - 1-5/8" EXTERIOR WOOD SCREWS
 REQUIREMENTS ARE AS DETAILED IN THE PRODUCT SPECIFICATIONS

10

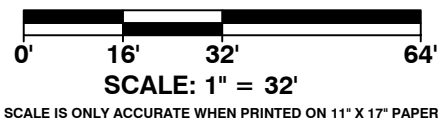
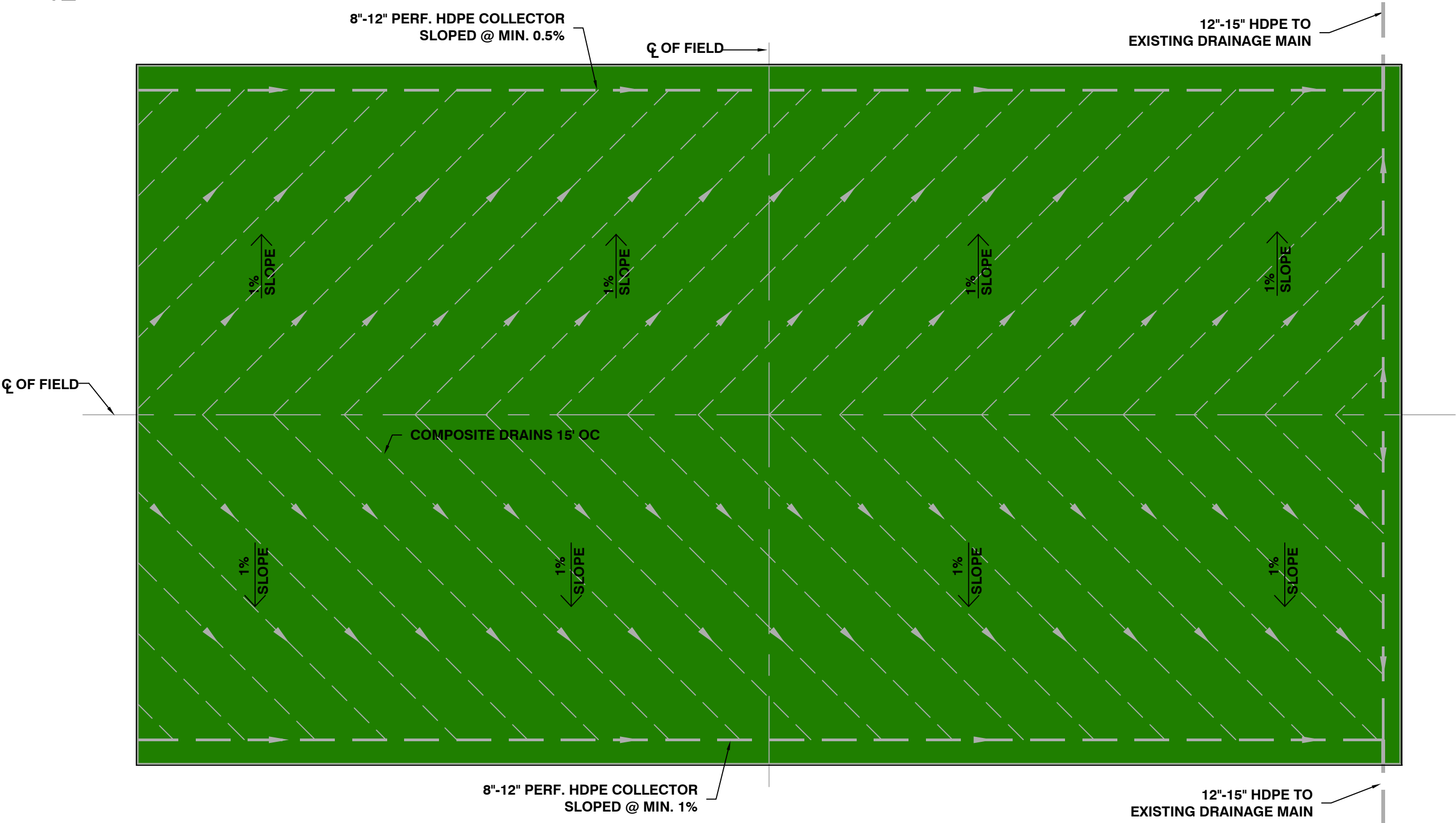


RECOMMENDED HARDWARE:
STAPLES - 1/4" CROWN X 1" - 18 GAUGE STAINLESS STEEL STAPLES
ADHESIVE - PL PREMIUM 375 CONSTRUCTION ADHESIVE
SCREWS - 1-5/8" EXTERIOR WOOD SCREWS
 REQUIREMENTS ARE AS DETAILED IN THE PRODUCT SPECIFICATIONS

11



Drawn By:	DRAWN
Checked By:	CHECKED
Issued For:	ISSUED
Date:	TODAY
Sheet No.:	1 of 1



TYPICAL FIELD DRAINAGE PLAN

Nathan Kragt

From: Steven Lopes <Steven.Lopes@swfwmd.state.fl.us>
Sent: Thursday, October 18, 2018 2:55 PM
To: Nathan Kragt
Subject: FW: City of Bradenton - artificial turf

Nathan –

I was going to discuss this with Dave Kramer tomorrow, but City of Bradenton beat me to it ...

Sincerely,

Steven J. Lopes, P.E.

Southwest Florida Water Management District
Environmental Resource Permit Bureau
(813) 985-7481 ext. 6506

steven.lopes@watermatters.org



From: Dave Kramer
Sent: Thursday, October 18, 2018 2:36 PM
To: Kim Clayback <Kim.Clayback@cityofbradenton.com>
Cc: Timothy Hochuli <timothy.hochuli@cityofbradenton.com>; Steven Lopes <Steven.Lopes@swfwmd.state.fl.us>
Subject: RE: City of Bradenton - artificial turf

Hi Kim,

Here are my thoughts: There are instances where we can “exempt” artificial turf surfaces from formal water quality treatment (pedestrian use only, no irrigation, no fertilizer) if there is some form of pervious surface/media beneath the turf. This can include clean sand or soil, rock or combination thereof. That said, it is understood that most highly playable ball fields will include relatively intense under-drainage networks, which also means that there is not a lot of opportunity for retention of rainfall. Therefore, there have to be some conservative assumptions as it relates to anticipated runoff volumes/water quantity contribution (i.e. most of what falls on the ball field will be collected and rapidly discharged either off-site or to any proposed stormwater management facilities/ponds.

Does this help?

Dave

David Kramer, P.E.
ERP Evaluation Manager
Environmental Resource Permit Bureau
Regulation Division
Southwest Florida Water Management District
(800) 836-0797 or (813) 985-7481, ext. 2009
dave.kramer@watermatters.org

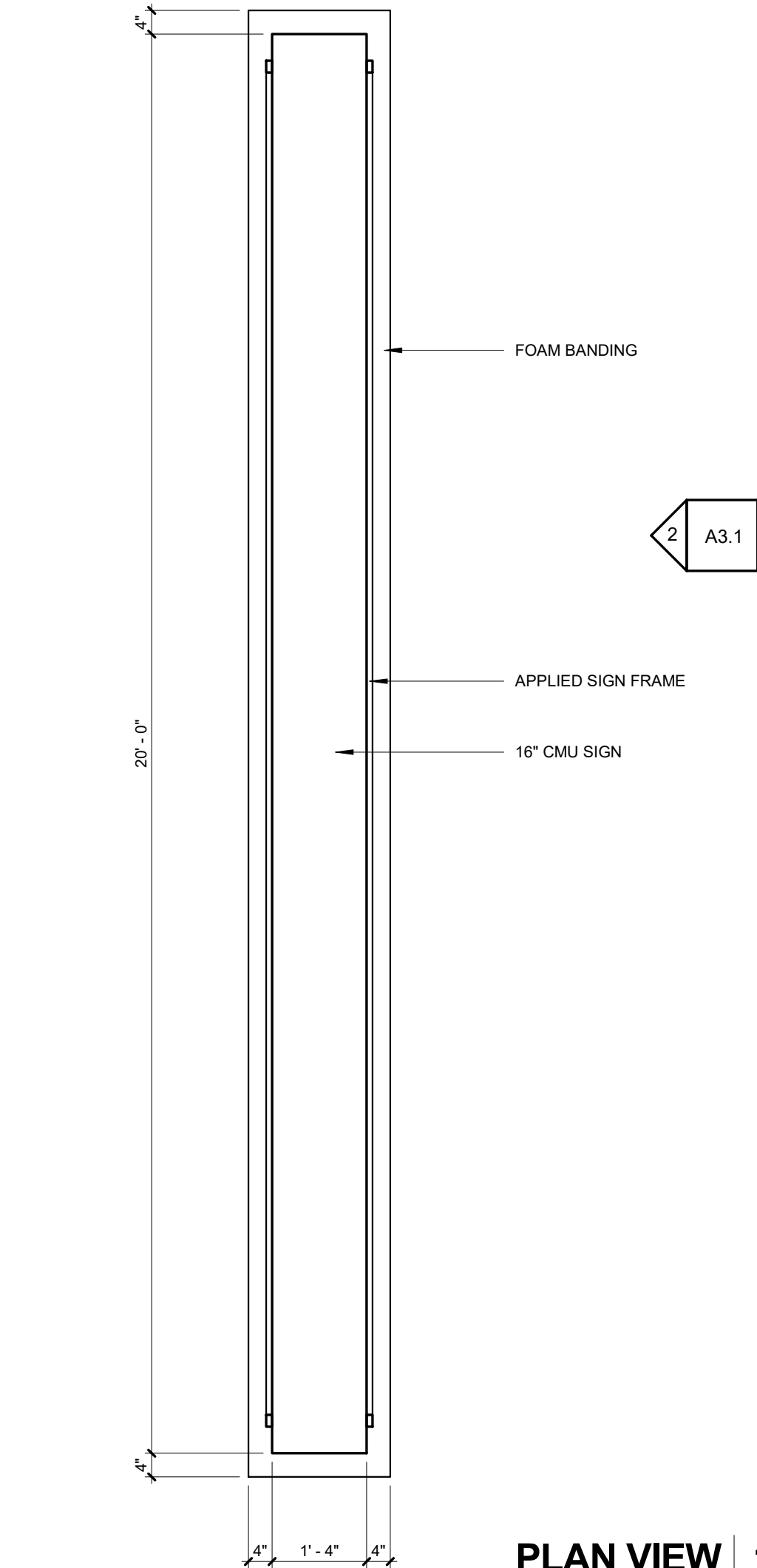
Introducing **ERP eCompliance** Online Permit Condition Reporting at



PROPOSED SIGNAGE

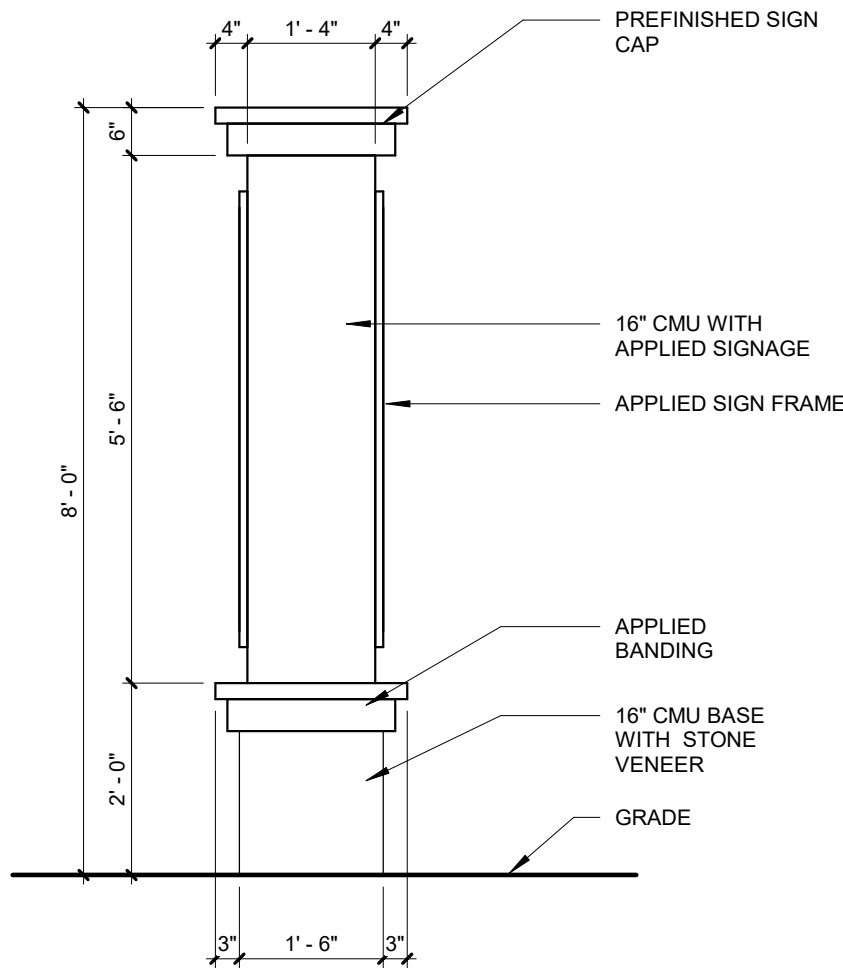


3D RENDER 4



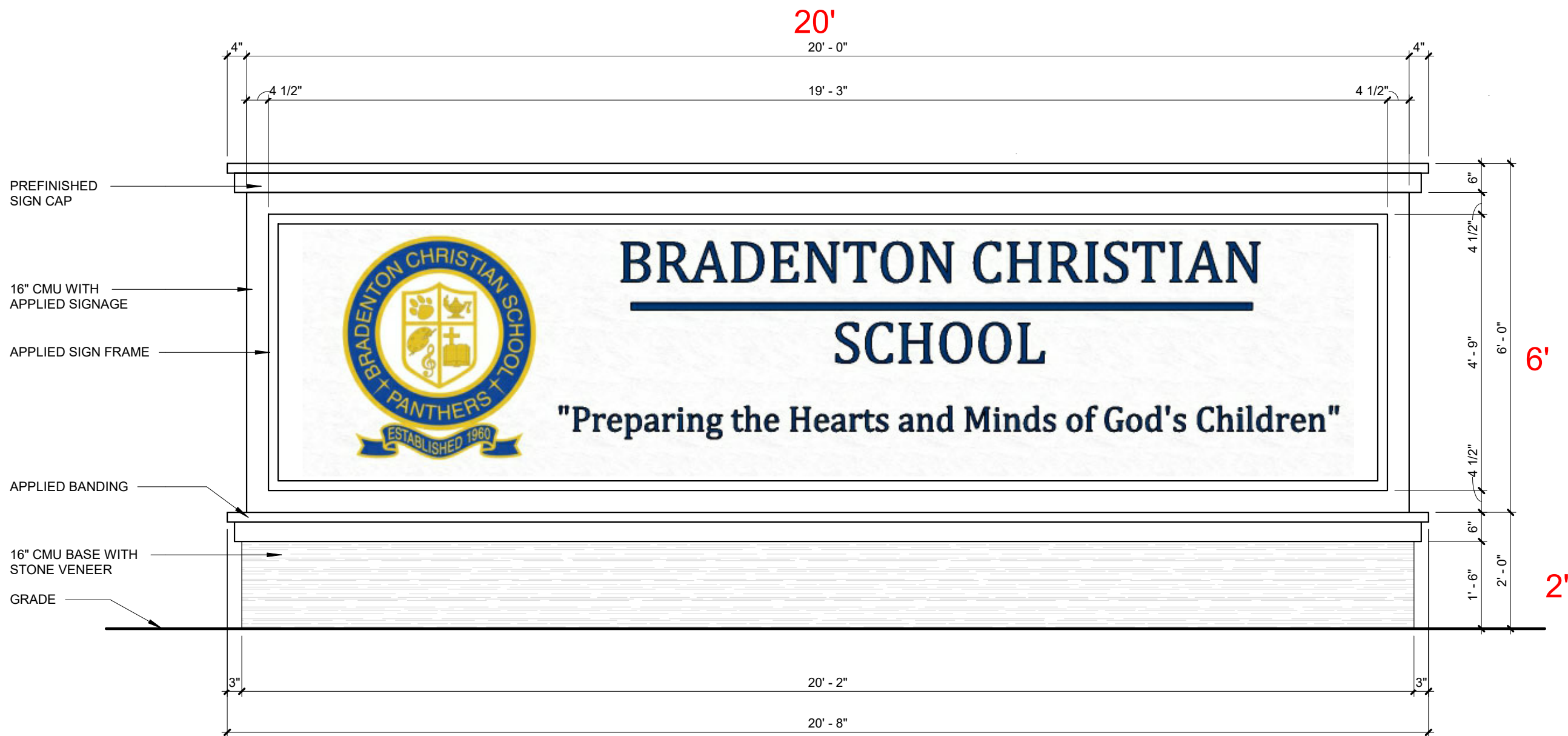
PLAN VIEW 1

1/2" = 1'-0"



SOUTH ELEVATION 3

1/2" = 1'-0"



EAST ELEVATION 2

1/2" = 1'-0"

BRADENTON CHRISTIAN SCHOOL

3304 43rd ST. W.
BRADENTON, FL 34209

FAWLEY BRYANT ARCHITECTURE
SMART BEAUTIFUL SPACES
5391 Lakeview Ranch Blvd. North
Suite 300, Sarasota, FL 34240
t: 941.343.4070 f: 941.749.5747
FAWLEY-BRYANT.COM

Project No. 2018069.00
Drawn By AA
Checked By JS
Date 01.30.2019

Revisions:

NOT FOR CONSTRUCTION

Charles S. Padgett
AR 95286

"To the best of the Architect's or Engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and applicable fire safety standards as determined by local authority in accordance with Chapter 553 and 663 of Florida Statutes."

CONCEPT DESIGN

A3.1
DIMENSIONS, NOTES & TAGS

Originals printed at 24" x 36"
scale as required
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North Sign Location



South Sign Location

Similar signage example at St. Stephen's school



PHOTOMETRICS

Bradenton Christian School

Bradenton,FL

Lighting System

Pole / Fixture Summary						
Pole ID	Pole Height	Mtg Height	Fixture Qty	Luminaire Type	Load	Circuit
A1-A2	70'	15'	1	TLC-BT-575	0.58 kW	A
		70'	5	TLC-LED-1150	5.75 kW	A
A3	70'	15'	1	TLC-BT-575	0.58 kW	F
		70'	3	TLC-LED-1150	3.45 kW	F
A4	70'	15'	1	TLC-BT-575	0.58 kW	E
		70'	3	TLC-LED-1150	3.45 kW	E
B1	90'	15'	3	TLC-BT-575	1.73 kW	B
		90'	11	TLC-LED-1150	12.65 kW	B
B2	90'	15'	2	TLC-BT-575	1.15 kW	A
		90'	10	TLC-LED-1150	11.50 kW	A
B4	70'	15'	1	TLC-BT-575	0.58 kW	E
		70'	5	TLC-LED-1150	5.75 kW	E
C1	70'	15'	2	TLC-BT-575	1.15 kW	B
		70'	10	TLC-LED-1150	11.50 kW	B
C2	70'	15'	2	TLC-BT-575	1.15 kW	A
		70'	6	TLC-LED-1150	6.90 kW	A
F2	70'	15'	2	TLC-BT-575	1.15 kW	C
		70'	10	TLC-LED-1150	11.50 kW	C
F3	80'	15'	2	TLC-BT-575	1.15 kW	B
		80'	5	TLC-LED-1150	5.75 kW	C
		80'	5	TLC-LED-1150	5.75 kW	B
S1, S4	70'	70'	6	TLC-LED-1150	6.90 kW	D
S3	70'	15'	2	TLC-BT-575	1.15 kW	E
		70'	7	TLC-LED-1150	8.05 kW	E
14			117		123.05 kW	

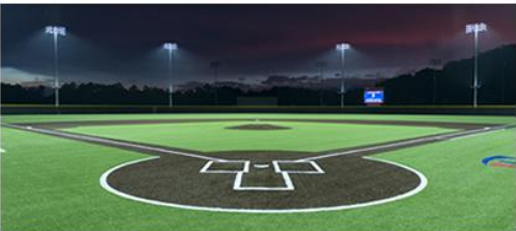
Circuit Summary			
Circuit	Description	Load	Fixture Qty
A	Baseball	33.35 kW	32
B	Baseball/Football	33.92 kW	33
C	Football	18.4 kW	17
D	Soccer	13.8 kW	12
E	Soccer/Softball	19.55 kW	19
F	Softball	4.03 kW	4

Fixture Type Summary							
Type	Source	Wattage	Lumens	L90	L80	L70	Quantity
TLC-BT-575	LED 5700K - 75 CRI	575W	52,000	>81,000	>81,000	>81,000	20
TLC-LED-1150	LED 5700K - 75 CRI	1150W	121,000	>81,000	>81,000	>81,000	97

Light Level Summary

Calculation Grid Summary								
Grid Name	Calculation Metric	Illumination					Circuits	Fixture Qty
		Ave	Min	Max	Max/Min	Ave/Min		
Baseball (Infield)	Horizontal Illuminance	55.2	41	64	1.56	1.35	A,B	65
Baseball (Outfield)	Horizontal Illuminance	40.8	24	50	2.10	1.70	A,B	65
Football	Horizontal Illuminance	50.3	40	66	1.67	1.26	B,C	50
Soccer 1	Horizontal Illuminance	50.3	40	66	1.67	1.26	B,C	50
Soccer 2	Horizontal Illuminance	36.3	21	45	2.14	1.73	D,E	31
Softball (Infield)	Horizontal Illuminance	51.2	36	65	1.79	1.42	E,F	23
Softball (Outfield)	Horizontal Illuminance	33.8	23	46	2.03	1.47	E,F	23
Spill @ PL	Horizontal	0.03	0	0.19	23948610.00		A,B,C,D,E	113

From Hometown to Professional



We Make It Happen®

EQUIPMENT LIST FOR AREAS SHOWN

Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
2	A1-A2	70'	-	15'	TLC-BT-575	1	1	0
				70'	TLC-LED-1150	5	5	0
1	B1	90'	-	15'	TLC-BT-575	3	3	0
				90'	TLC-LED-1150	11	11	0
1	B2	90'	-	15'	TLC-BT-575	2	2	0
				90'	TLC-LED-1150	10	10	0
1	C1	70'	-	15'	TLC-BT-575	2	2	0
				70'	TLC-LED-1150	10	10	0
1	C2	70'	-	15'	TLC-BT-575	2	2	0
				70'	TLC-LED-1150	6	6	0
1	F3	80'	-	15'	TLC-BT-575	2	2	0
				80'	TLC-LED-1150	10	5	5
7	TOTALS					70	65	5

Bradenton Christian School

Bradenton, FL

GRID SUMMARY

Name: Baseball
Size: Irregular 348' / 373' / 301'
Spacing: 30.0' x 30.0'
Height: 3.0' above grade

ILLUMINATION SUMMARY

MAINTAINED HORIZONTAL FOOTCANDLES

	Infield	Outfield
Guaranteed Average:	50	30
Scan Average:	55.19	40.83
Maximum:	64	50
Minimum:	41	24
Avg / Min:	1.34	1.71
Guaranteed Max / Min:	2	2.5
Max / Min:	1.56	2.10
UG (adjacent pts):	1.35	1.67
CU:	0.74	
No. of Points:	25	106

LUMINAIRE INFORMATION

Color / CRI: 5700K - 75 CRI
Luminaire Output: 52,000 / 121,000 lumens
No. of Luminaires: 65
Total Load: 67.28 kW

Lumen Maintenance			
Luminaire Type	L90 hrs	L80 hrs	L70 hrs
TLC-BT-575	>81,000	>81,000	>81,000
TLC-LED-1150	>81,000	>81,000	>81,000

Reported per TM-21-11. See luminaire datasheet for details.

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



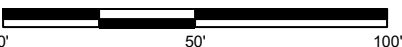
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ILLUMINATION SUMMARY



SCALE IN FEET 1 : 50



ENGINEERED DESIGN By: Brad Vonk • File #125964G • 07-Jan-19

EQUIPMENT LIST FOR AREAS SHOWN

Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
1	B1	90'	-	15'	TLC-BT-575	3	3	0
				90'	TLC-LED-1150	11	11	0
2	C1, F2	70'	-	15'	TLC-BT-575	2	2	0
				70'	TLC-LED-1150	10	10	0
1	F3	80'	-	15'	TLC-BT-575	2	2	0
				80'	TLC-LED-1150	10	10	0
4	TOTALS					50	50	0

Bradenton Christian School

Bradenton, FL

GRID SUMMARY

Name: Football
Size: 360' x 160'
Spacing: 30.0' x 30.0'
Height: 3.0' above grade

ILLUMINATION SUMMARY

MAINTAINED HORIZONTAL FOOTCANDLES

Entire Grid

Guaranteed Average: 50

Scan Average: 50.28

Maximum: 66

Minimum: 40

Avg / Min: 1.27

Guaranteed Max / Min: 2

Max / Min: 1.67

UG (adjacent pts): 1.42

CU: 0.60

No. of Points: 72

LUMINAIRE INFORMATION

Color / CRI: 5700K - 75 CRI

Luminaire Output: 52,000 / 121,000 lumens

No. of Luminaires: 50

Total Load: 52.33 kW

Lumen Maintenance

Luminaire Type	L90 hrs	L80 hrs	L70 hrs
TLC-BT-575	>81,000	>81,000	>81,000
TLC-LED-1150	>81,000	>81,000	>81,000

Reported per TM-21-11. See luminaire datasheet for details.

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

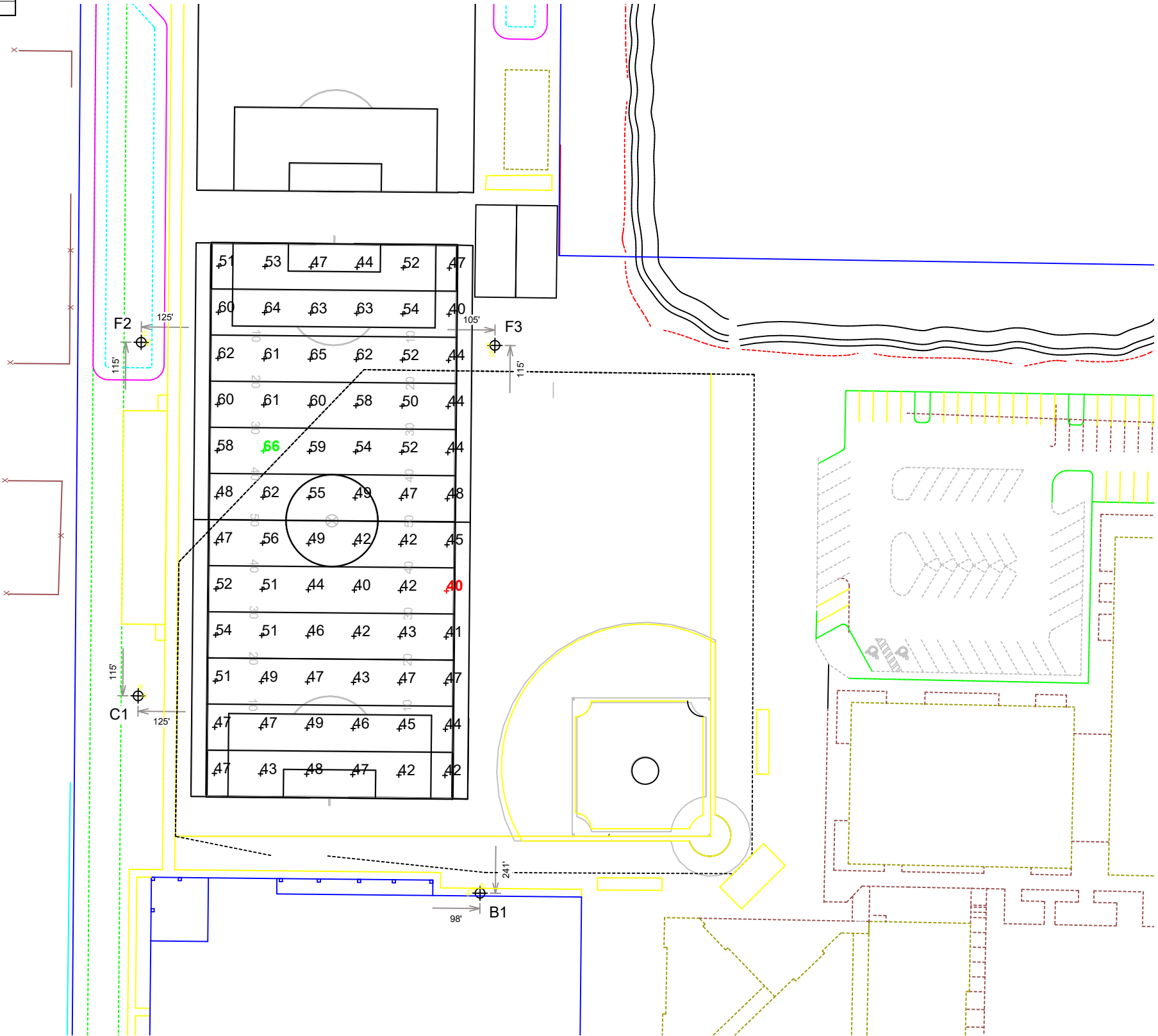
Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



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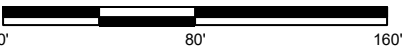
ILLUMINATION SUMMARY



Pole location(s) ⦿ dimensions are relative to 0,0 reference point(s) ⊗



SCALE IN FEET 1 : 80



EQUIPMENT LIST FOR AREAS SHOWN

Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
1	B1	90'	-	15'	TLC-BT-575	3	3	0
				90'	TLC-LED-1150	11	11	0
2	C1, F2	70'	-	15'	TLC-BT-575	2	2	0
				70'	TLC-LED-1150	10	10	0
1	F3	80'	-	15'	TLC-BT-575	2	2	0
				80'	TLC-LED-1150	10	10	0
4	TOTALS					50	50	0

Bradenton Christian School

Bradenton, FL

GRID SUMMARY

Name: Soccer 1
Size: 360' x 180'
Spacing: 30.0' x 30.0'
Height: 3.0' above grade

ILLUMINATION SUMMARY

MAINTAINED HORIZONTAL FOOTCANDLES

Entire Grid	
Guaranteed Average:	50
Scan Average:	50.28
Maximum:	66
Minimum:	40
Avg / Min:	1.27
Guaranteed Max / Min:	2
Max / Min:	1.67
UG (adjacent pts):	1.42
CU:	0.60
No. of Points:	72

LUMINAIRE INFORMATION

Color / CRI: 5700K - 75 CRI
Luminaire Output: 52,000 / 121,000 lumens
No. of Luminaires: 50
Total Load: 52.33 kW

Lumen Maintenance			
Luminaire Type	L90 hrs	L80 hrs	L70 hrs
TLC-BT-575	>81,000	>81,000	>81,000
TLC-LED-1150	>81,000	>81,000	>81,000

Reported per TM-21-11. See luminaire datasheet for details.

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

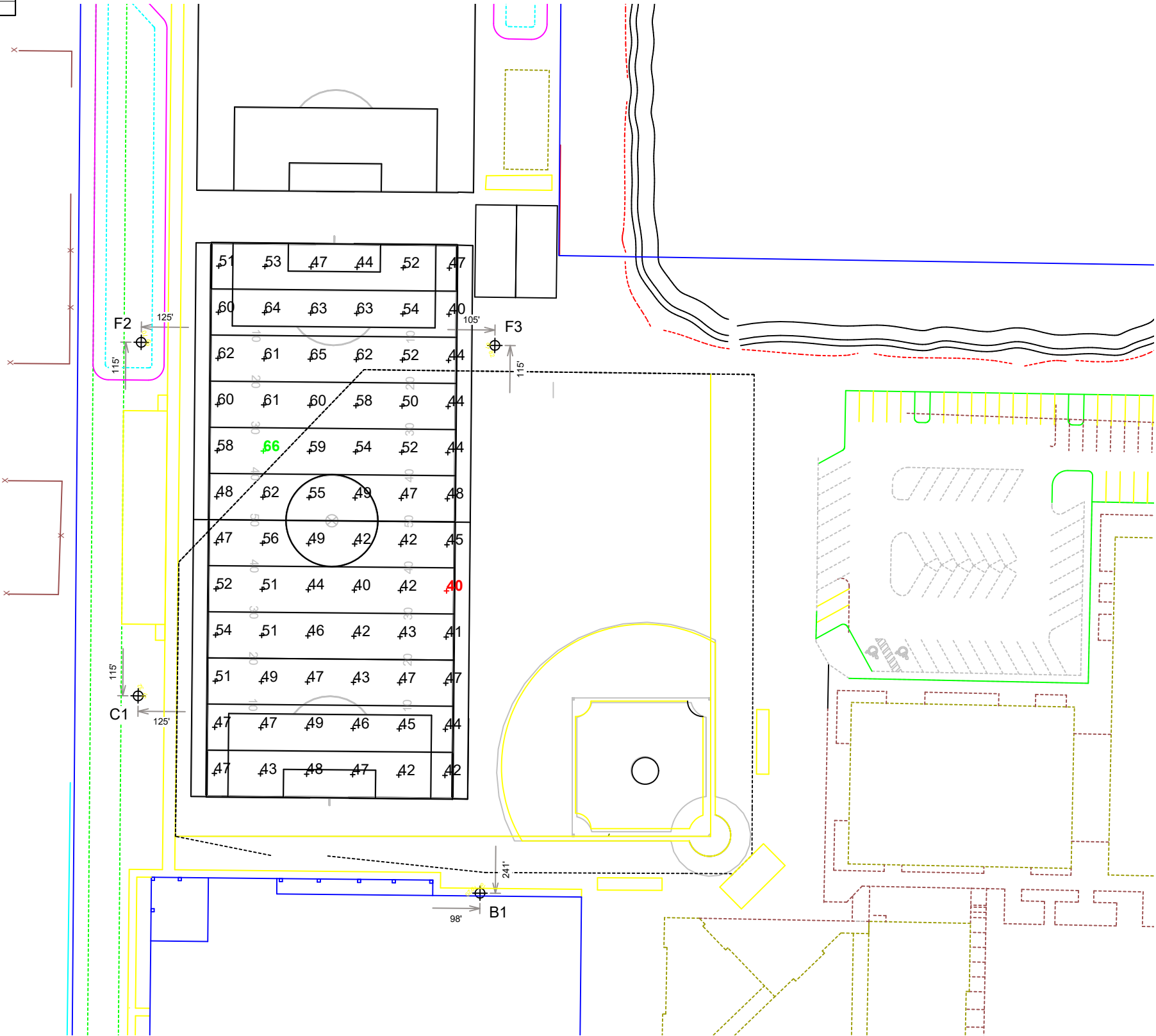
Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



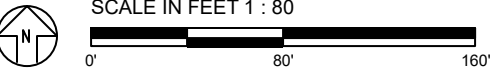
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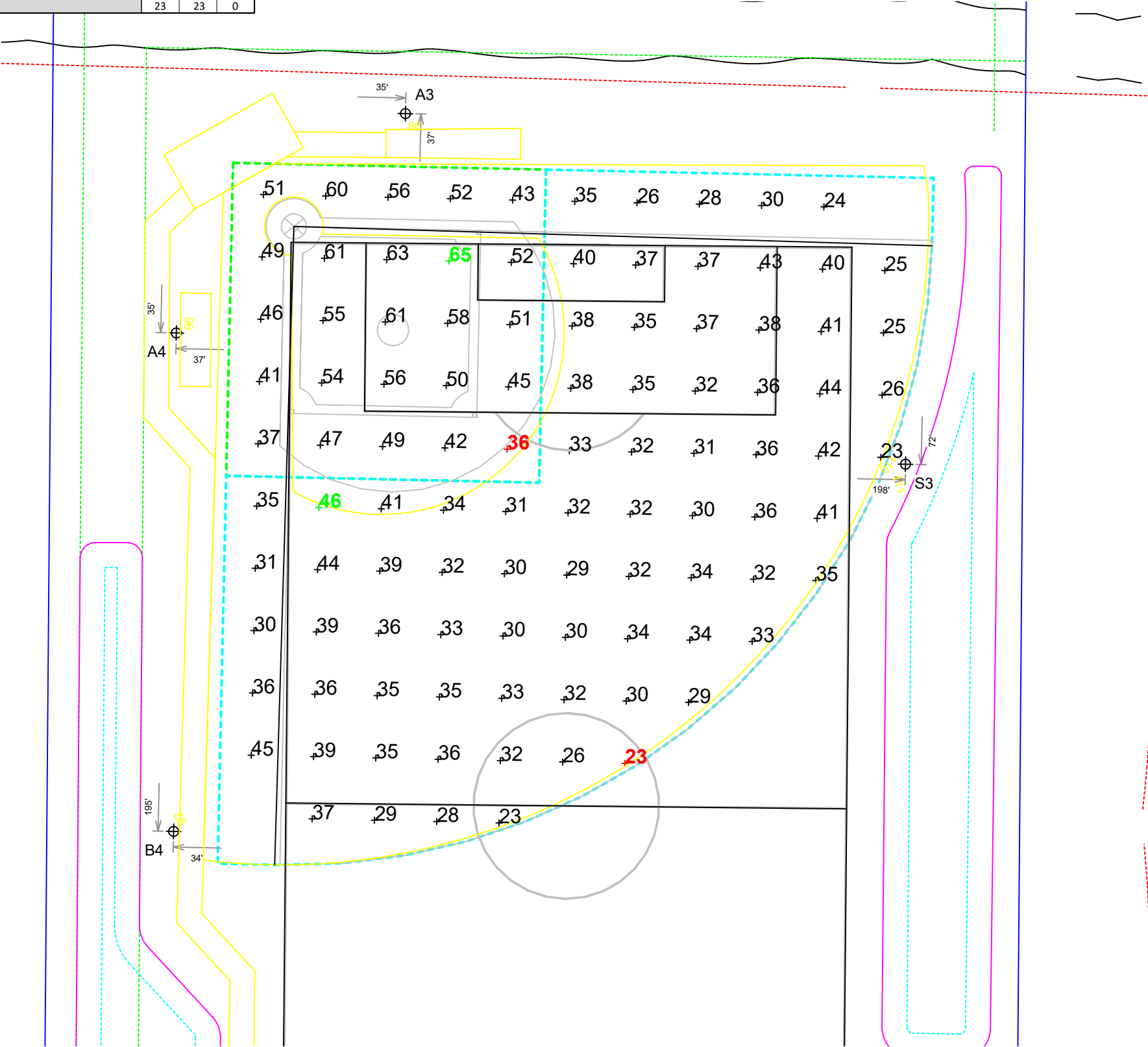
ILLUMINATION SUMMARY



Pole location(s) ⦿ dimensions are relative to 0,0 reference point(s) ⊗



EQUIPMENT LIST FOR AREAS SHOWN								
Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
2	A3-A4	70'	-	15'	TLC-BT-575	1	1	0
				70'	TLC-LED-1150	3	3	0
1	B4	70'	-	15'	TLC-BT-575	1	1	0
				70'	TLC-LED-1150	5	5	0
1	S3	70'	-	15'	TLC-BT-575	2	2	0
				70'	TLC-LED-1150	7	7	0
4	TOTALS					23	23	0



Bradenton Christian School

Bradenton, FL

GRID SUMMARY	
Name:	Softball
Size:	205'/205'/205' - basepath 60'
Spacing:	20.0' x 20.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY			
MAINTAINED HORIZONTAL FOOTCANDLES			
	Infield	Outfield	
Guaranteed Average:	50	30	
Scan Average:	51.21	33.76	
Maximum:	65	46	
Minimum:	36	23	
Avg / Min:	1.42	1.50	
Guaranteed Max / Min:	2	2.5	
Max / Min:	1.79	2.03	
UG (adjacent pts):	1.33	1.82	
CU:	0.65		
No. of Points:	25	77	
LUMINAIRE INFORMATION			
Color / CRI:	5700K - 75 CRI		
Luminaire Output:	52,000 / 121,000 lumens		
No. of Luminaires:	23		
Total Load:	23.58 kW		
Lumen Maintenance			
Luminaire Type	L90 hrs	L80 hrs	L70 hrs
TLC-BT-575	>81,000	>81,000	>81,000
TLC-LED-1150	>81,000	>81,000	>81,000
Reported per TM-21-11. See luminaire datasheet for details.			

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

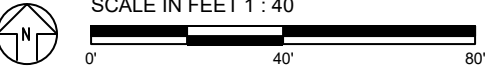
Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



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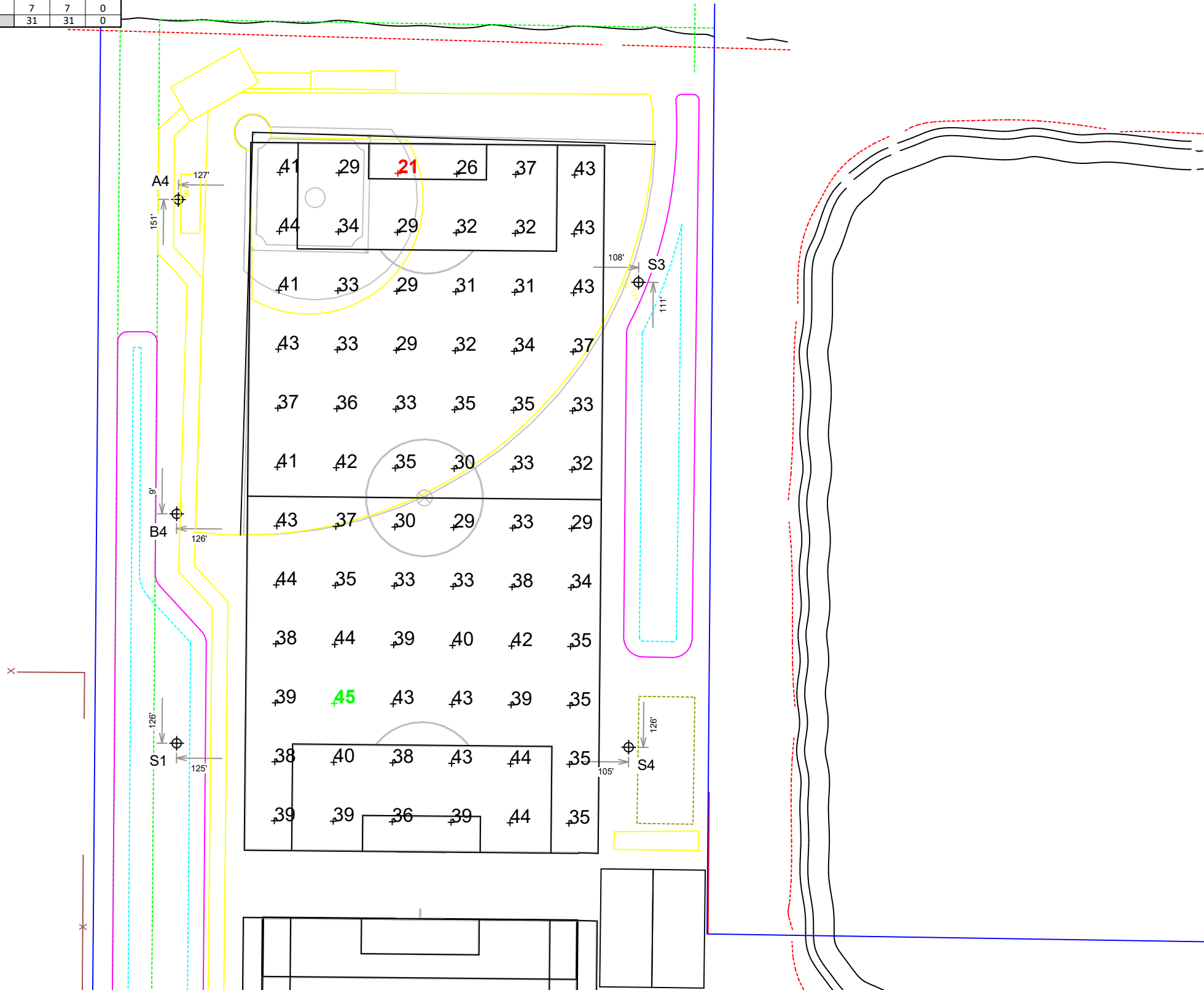
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ILLUMINATION SUMMARY



EQUIPMENT LIST FOR AREAS SHOWN								
Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
1	A4	70'	-	15'	TLC-BT-575	1	1	0
				70'	TLC-LED-1150	3	3	0
1	B4	70'	-	15'	TLC-BT-575	1	1	0
				70'	TLC-LED-1150	5	5	0
2	S1, S4	70'	-	70'	TLC-LED-1150	6	6	0
1	S3	70'	-	15'	TLC-BT-575	2	2	0
				70'	TLC-LED-1150	7	7	0
5	TOTALS					31	31	0

Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
1	A4	70'	-	15' 70'	TLC-BT-575 TLC-LED-1150	1 3	1 3	0 0
1	B4	70'	-	15' 70'	TLC-BT-575 TLC-LED-1150	1 5	1 5	0 0
2	S1, S4	70'	-	70'	TLC-LED-1150	6	6	0
1	S3	70'	-	15' 70'	TLC-BT-575 TLC-LED-1150	2 7	2 7	0 0
5	TOTALS					31	31	0



Pole location(s) \oplus dimensions are relative to 0,0 reference point(s) \otimes

Bradenton,FL

Name:	Soccer 2
Size:	360' x 180'
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

MAINTAINED HORIZONTAL FOOTCANDLES			
		Entire Grid	
Guaranteed Average:	30		
Scan Average:	36.31		
Maximum:	45		
Minimum:	21		
Avg / Min:	1.71		
Guaranteed Max / Min:	2.5		
Max / Min:	2.14		
UG (adjacent pts):	1.43		
CU:	0.68		
No. of Points:	72		
LUMINAIRE INFORMATION			
Color / CRI:	5700K - 75 CRI		
Luminaire Output:	52,000 / 121,000 lumens		
No. of Luminaires:	31		
Total Load:	33.35 kW		
Lumen Maintenance			
Luminaire Type	L90 hrs	L80 hrs	L70 hrs
TLC-BT-575	>81,000	>81,000	>81,000
TLC-LED-1150	>81,000	>81,000	>81,000
Reported per TM-21-11. See luminaire datasheet for details.			

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Installation Requirements: Results assume $\pm 3\%$ nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

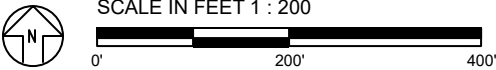
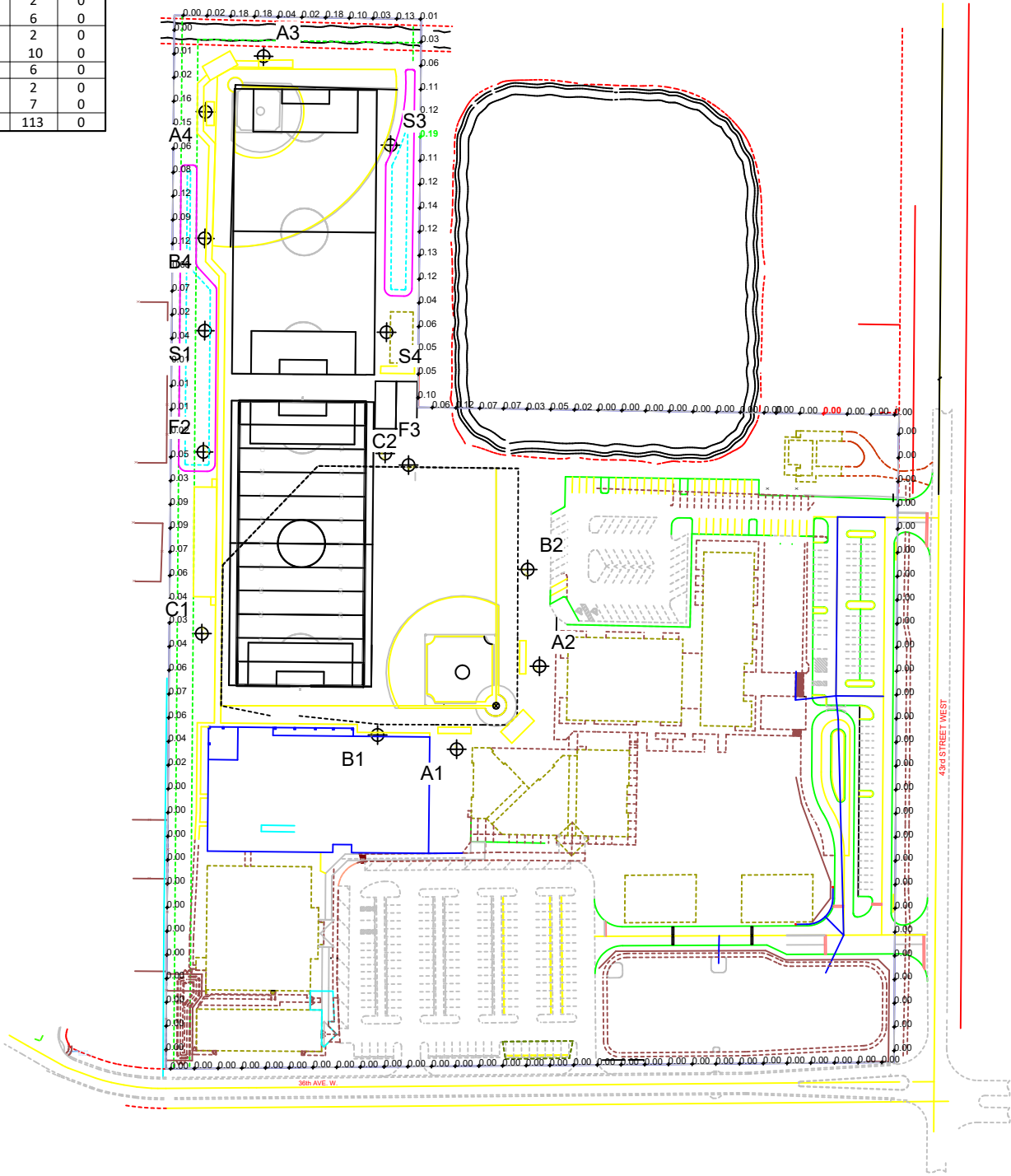


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ILLUMINATION SUMMARY

EQUIPMENT LIST FOR AREAS SHOWN

Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
3	A1-A2, B4	70'	-	15'	TLC-BT-575	1	1	0
				70'	TLC-LED-1150	5	5	0
1	A4	70'	-	15'	TLC-BT-575	1	1	0
				70'	TLC-LED-1150	3	3	0
1	B1	90'	-	15'	TLC-BT-575	3	3	0
				90'	TLC-LED-1150	11	11	0
1	B2	90'	-	15'	TLC-BT-575	2	2	0
				90'	TLC-LED-1150	10	10	0
2	C1, F2	70'	-	15'	TLC-BT-575	2	2	0
				70'	TLC-LED-1150	10	10	0
1	C2	70'	-	15'	TLC-BT-575	2	2	0
				70'	TLC-LED-1150	6	6	0
1	F3	80'	-	15'	TLC-BT-575	2	2	0
				80'	TLC-LED-1150	10	10	0
2	S1, S4	70'	-	70'	TLC-LED-1150	6	6	0
1	S3	70'	-	15'	TLC-BT-575	2	2	0
				70'	TLC-LED-1150	7	7	0
13	TOTALS					113	113	0



ENGINEERED DESIGN By: Brad Vonk • File #125964G • 07-Jan-19

Pole location(s) Ⓢ dimensions are relative to 0,0 reference point(s) ⊗

Bradenton Christian School

Bradenton,FL

GRID SUMMARY	
Name:	Spill @ PL
Spacing:	30.0'
Height:	5.0' above grade

ILLUMINATION SUMMARY

MAINTAINED HORIZONTAL FOOTCANDLES

Scan Average:	Entire Grid
	0.0311
	Maximum: 0.19
	Minimum: 0.00
	No. of Points: 150

LUMINAIRE INFORMATION

Color / CRI:	5700K - 75 CRI
Luminaire Output:	52,000 / 121,000 lumens
No. of Luminaires:	113
Total Load:	119.03 kW

Lumen Maintenance

Luminaire Type	L90 hrs	L80 hrs	L70 hrs
TLC-BT-575	>81,000	>81,000	>81,000
TLC-LED-1150	>81,000	>81,000	>81,000

Reported per TM-21-11. See luminaire datasheet for details.

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



We Make It Happen®

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ILLUMINATION SUMMARY

Bradenton Christian School
Bradenton, FL

EQUIPMENT LAYOUT

INCLUDES:

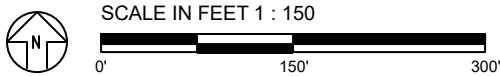
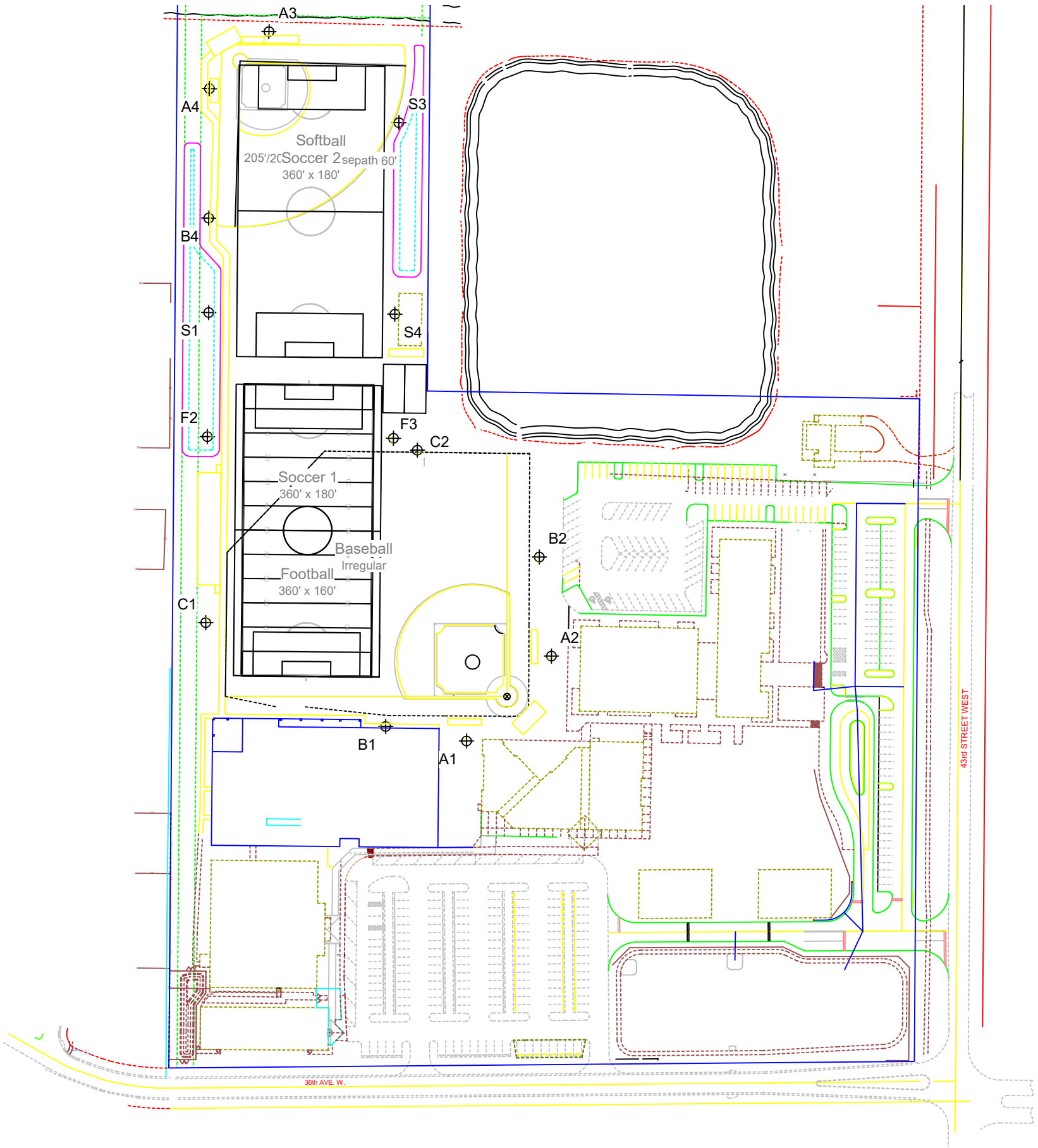
- Baseball
- Football
- Soccer 1
- Soccer 2
- Softball

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

EQUIPMENT LIST FOR AREAS SHOWN						
Pole				Luminaires		
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE
3	A1-A2, B4	70'	-	15' 70'	TLC-BT-575 TLC-LED-1150	1 5
2	A3-A4	70'	-	15' 70'	TLC-BT-575 TLC-LED-1150	1 3
1	B1	90'	-	15' 90'	TLC-BT-575 TLC-LED-1150	3 11
1	B2	90'	-	15' 90'	TLC-BT-575 TLC-LED-1150	2 10
2	C1, F2	70'	-	15' 70'	TLC-BT-575 TLC-LED-1150	2 10
1	C2	70'	-	15' 70'	TLC-BT-575 TLC-LED-1150	2 6
1	F3	80'	-	15' 80'	TLC-BT-575 TLC-LED-1150	2 10
2	S1, S4	70'	-	70'	TLC-LED-1150	6
1	S3	70'	-	15' 70'	TLC-BT-575 TLC-LED-1150	2 7
14	TOTALS					117

SINGLE LUMINAIRE AMPERAGE DRAW CHART							
Ballast Specifications (.90 min power factor)		Line Amperage Per Luminaire (max draw)					
Single Phase Voltage		208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	480 (60)
TLC-BT-575		3.4	3.2	2.9	2.5	2.0	1.8
TLC-LED-1150		6.8	6.5	5.9	5.1	4.1	3.7



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Pole location(s) ⦿ dimensions are relative to 0,0 reference point(s) ⊗



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IMAGES OF EXISTING SITE

























GUEST	:	HOME
TIME		
DOWN	TO GO	BALL ON QTR.

Dan van der Kooy Field

THE "DAN VAN DER KOOY" FIELD
OF THE UNIVERSITY OF CALIFORNIA

THE "DAN VAN DER KOOY" FIELD
OF THE UNIVERSITY OF CALIFORNIA

Return to:
City of Bradenton, Department of Planning & Community Development
101 12th St, Bradenton, FL 34205

Permit No. SA.18.4581

Meeting and Date Planning Commission
February 20, 2019



CITY OF BRADENTON AFFIDAVIT
Department of Planning & Community Development
101 Old Main Street, Bradenton, FL 34205
Ph: (941) 932-9400 x 413 Fax: (941) 932-9534
Certification of Notice
Posting Prior to Public Hearing

I, Nathan Kragt, hereby certify that a sign has
been posted at 3304 + 3204 43rd Street West, and along
Park Lake Terrace South as indicated in Exhibit A.
as of this date and for at least 10 days prior to the public hearing regarding the
request of: Special Use Expansion to sports complex
at Bradenton Christian School

[Signature]
Applicant's Signature

2/8/19
Date

The foregoing instrument was acknowledged before me this 8th day of
February, who produced as identification personally known



ROBIN BROWN
MY COMMISSION # FF 204656
EXPIRES: April 10, 2019
Bonded Thru Budget Notary Services

[Signature]
Notary Public, State of Florida & Seal

2018-3 IH BORROWER LP
1717 MAIN STREET SUITE 2000
DALLAS, TX 75201

ACTON, RICHARD E
4420 PARK LAKE TER S
BRADENTON, FL 34209-6219

AGOSTO, LINDA
7322 MANATEE AVE W BOX 181
BRADENTON, FL 34209-8031

AHLSTROM, KEITH
25 CEDAR ST
DUNKIRK, NY 14048

ALBANESE, GIULIA
3383 STOCKBRIDGE AVE
OAKVILLE ONTARIO
L6M 06B CANADA

ANDERSON, CINDY K
2936 PARK LAKE DR
BRADENTON, FL 34209

ASTEMBORSKI, DENISE
4608 PARK LAKE TER N
BRADENTON, FL 34209-6215

BACKER, ROBERT GEORGE
3780 PINEBROOK CIR APT 103
BRADENTON, FL 34209-8031

BAGER, LILLIAN
4210 37TH AVENUE DR W 14
BRADENTON, FL 34205-1068

BAILEY, LYNDA
3307 45TH ST W
BRADENTON, FL 34209-8043

BAUMANN, JOAN M
3750 PINEBROOK CIR 208
BRADENTON, FL 34209-8034

BAZZY, ROBERT A
3204 42ND ST W
BRADENTON, FL 34205-1131

BECKER, LINDA ANN
18045 DAVE WOOD RD
MONTROSE, CO 81403-9148

BERGSTROM, CARL A
3819 CANDY LN
KOKOMO, IN 46902

BERRY, LORRAINE F
3780 PINEBROOK CIR 201
BRADENTON, FL 34209-8031

BLAIR, MARIANNE
2924 PARK LAKE DR
BRADENTON, FL 34209

BLAIR, REGINA
4604 PARK LAKE TER N
BRADENTON, FL 34209

BOGERT, PATRICIA S
4609 PARK LAKE TERR S
BRADENTON, FL 34209-6223

BORRHELLO, SALLY ANN
4503 33RD AVE W
BRADENTON, FL 34209

BOUCHARD, DONALD E
4507 33RD AVE W
BRADENTON, FL 34209-6241

BRADENTON CHRISTIAN SCHOOL SOCIETY INC
3304 43RD ST W
BRADENTON, FL 34209

BRASGALLA, BEVERLY
4012 34TH AVE W
BRADENTON, FL 34205-1104

BRAUN, MARLA LYNN
4525 N PARK LAKE TER
BRADENTON, FL 34209

BREEDING, FRED A
912 FLAT HOLLOW RD
COOKEVILLE, TN 38501-2974

BROOKS, ERNEST A III
567 N PRICE RD
SAINT LOUIS, MO 63132

BROWN, MICHAEL STEWART
91 GARINGER CRESCENT
BINBROOK, ONTARIO
L0R 1C0 CANADA

BROWNE, GARY SCOTT
93 REMMEY ST
FORDS, NJ 08863

BROWNING, PATRICIA ANN
4207 36TH AVENUE DR W
BRADENTON, FL 34205-1025

BRUST, HELEN JOAN
4212 34TH AVENUE DR W
BRADENTON, FL 34205-1114

BUCKLER, NORMA J
4207 37TH AVENUE DR W 22
BRADENTON, FL 34205

BURNS, DOREEN A
4521 PARK LAKE TERR N
BRADENTON, FL 34209-6213

CAMINITE, RUDOLPH N
3780 PINEBROOK CIR 102
BRADENTON, FL 34209-8031

CAMPBELL, MARGARET E
2922 PARK LAKE DR
BRADENTON, FL 34209-6240

CAMPESE, GERALD D
22 CRANDALL AVE
SILVER CREEK, NY 14136

CAMPESE, GERALD D
3215 42ND STREET CT W
BRADENTON, FL 34205

CARLIN, LENORE A
4203 34TH AVENUE DR W
BRADENTON, FL 34205-1113

CARLOCK, JOHN O
4602 34TH AVENUE DR W
BRADENTON, FL 34209-6346

CARLSON, JEANNE E
3214 42ND ST W
BRADENTON, FL 34205-1102

CARRINGTON, JEANNE C
4203 36TH AVENUE DR W
BRADENTON, FL 34205-1025

CARRINGTON, PHILIP E
3210 42ND ST W
BRADENTON, FL 34205-1131

CASELLS, JOHN P
3750 PINEBROOK CIR UNIT 404
BRADENTON, FL 34209

CERVIK, JAMES J DYNASTY REVOCABLE
LIVING TRUST
38095 FOX RUN DR
OLON, OH 44139-2528

CHAFFIN, JAMIE P
9604 CORTEZ RD W 413
BRADENTON, FL 34210-1810

CHERMAK FAMILY REVOCABLE TRUST
U/A/D 02/16/00
1916 W DONGES BAY RD
MEQUON, WI 53092-5510

CHILDERS, MARK H
3104 43RD ST W
BRADENTON, FL 34209-6222

CLARK, ELAINE RUTHERFORD
3770 PINRBROOK CIR #6
BRADENTON, FL 34209

CLEMAN, CHRISTOPHER
5305 15TH AVE W
BRADENTON, FL 34209

COLLANDRA, MARY
4503 36TH AVE W
BRADENTON, FL 34209-8029

CONWAY, MARY F
4615 PARK LAKE TER S
BRADENTON, FL 34209-6223

COOK, BARBARA
4106 33RD AVENUE DR W
BRADENTON, FL 34205-1140

COOK, IRENE M
PO BOX 1252
ANNA MARIA, FL 34216-1252

CORTEZ VILLAS CONDOMINIUM 1 HOA
4206 36th Ave Dr West
BRADENTON, FL 34205

CORTEZ VILLAS CONDOMINIUM 7 HOA
4203 34th Ave Dr W
BRADENTON, FL 34205

CORTEZ VILLAS CONDOMINIUM 8 HOA
4204 32nd Ave W
BRADENTON, FL 34205

CORTEZ VILLAS CONDOMINIUM 9 HOA
4114 33rd Ave Dr W
BRADENTON, FL 34205

COSTER-VINHAGE, ELISABETH A
4535 PARK LAKE TER S
BRADENTON, FL 34209-6221

CROFTS, RAYMOND F SR
4531 PARK LAKE TER S
BRADENTON, FL 34209-6221

CROSS, PAUL
311 LEWIS ST
ROCKFORD, MI 49341-1013

CROUSS, FLORENCE M
3750 PINEBROOK CIR 107
BRADENTON, FL 34209-8034

CRYER, WILLIAM R
4501 33RD AVE W
BRADENTON, FL 34209-6241

CUMMINGS, DONALD B
1413 91ST CT NW
BRADENTON, FL 34209-8128

DALPONTE, VAL J
15131 ARBOR DR
ORLAND PARK, IL 60467-7353

DAVID, ANITA
4209 36TH AVENUE DR W
BRADENTON, FL 34205

DAVISON, WILLIAM E JR
2940 PARK LAKE DR
BRADENTON, FL 34206

DE BEIN, MIRTHA
606 RIVERIA DUNES WAY
PALMETTO, FL 34221

DE PAIVA, VALQUIRIA MARA COURA
3401 45TH ST W
BRADENTON, FL 34209-8045

DECKERT, SARKA
3503 46TH ST W
BRADENTON, FL 34209-9764

DELMONICO, JAMES L JR
3403 45TH ST W
BRADENTON, FL 34209-8045

DEVOSS, GLORIA M
4523 PARK LAKE TER N
BRADENTON, FL 34209-6213

DISKIN, HAROLD B
3334 WOODRUFF MEADOWS CT
HIGHLAND, MI 48357

DODIER, SANDRA J
44 LOMBARD AVE
AMESBURY, MA 01913-4007

DOLL, PHILIP D
4206 32ND AVE W
BRADENTON, FL 34205-1112

DOMINAS, ROBERT M
4502 33RD AVE W
BRADENTON, FL 34209-6241

DONOHUE, WILLIAM P
4102 32ND AVE W
BRADENTON, FL 34205

DOUCETTE, JOHN M JR
4207 35TH AVE W
BRADENTON, FL 34205

DOWD, JAMES C
3780 PINEBROOK CIR UNIT 607
BRADENTON, FL 34209-4711

DRISCOLL, JUDITH J
3310 46TH ST W
BRADENTON, FL 34209

DUNLAP, CONSTANCE P
4208 35TH AVE W
BRADENTON, FL 34205-1118

DUNN, EILEEN M
3760 PINEBROOK CIR 4
BRADENTON, FL 34209-8033

DUTROW, JOAN E
3213 42ND STREET CT W
BRADENTON, FL 34205-1138

EATON, SALLY
3102 43RD ST W
BRADENTON, FL 34209-6222

EBNER, DEAN V
4505 33RD AVE W
BRADENTON, FL 34209-6241

EGGERS, RANDOLPH
8106 LOMAS PASS
AVON, IN 46123-6984

EIERSTOCK, FRANK
110 BROOKVIEW LAKE
LIVERPOOL, NY 13088-5660

EMANUELSON, VICTOR
4204 34TH AVENUE DR W
BRADENTON, FL 34205

ERTEL, EDWARD F
3405 45TH ST W
BRADENTON, FL 34209-8045

EUBANKS, JANET
3780 PINEBROOK CIR UNIT 303
BRADENTON, FL 34209

EVANS, YONG HUI
3780 PINEBROOK CIR 405
BRADENTON, FL 34209-8032

EVANS, YVONNE A
4209 33RD AVENUE DR W
BRADENTON, FL 34205

FAERBER, RONALD J
3750 PINEBROOK CIR 108
BRADENTON, FL 34209-8034

FALZONE, RICHARD A
3770 PINEBROOK CIR UNIT 1
BRADENTON, FL 34209-8030

FARRELLY, DEBRA LYN
8911 NORA WOODS DR
INDIANAPOLIS, IN 46240

FERAVOLO, MICHAEL M
31 BARNIDA DR
EAST HANOVER, NJ 07936-1402

FINDLEY, LIESBETH HANNA
3409 46TH ST W
BRADENTON, FL 34209-8040

FINNERTY, ANNA O
3750 PINEBROOK CIR 403
BRADENTON, FL 34209-8035

FISHER, HENRY A
18258 CEDAR ISLAND BLVD
BROWNSTOWN, MI 48174

FLAHIVE, STEVEN M
4418 PARK LAKE TER S
BRADENTON, FL 34209

FOOR, BARBARA B
3770 PINEBROOK CIR 3
BRADENTON, FL 34209-8030

FORTY THREE WEST CONDOMINIUM
ASSOCIATION INC
310 PEARL AVE
SARASOTA, FL 34243

FOX, CHARLES R JR
4518 PARK LAKE TER N
BRADENTON, FL 34209-6211

FRAGNOLI, BILLY N
1164 PENNSBURY BLVD
PITTSBURGH, PA 15205-1637

FRANCIS, DANA W
4601 34TH AVENUE DR W
BRADENTON, FL 34209-6339

FRANCIS, JON T
4527 PARK LAKE TERR S
BRADENTON, FL 34209-6221

FRASER, NILSA M
4201 33RD AVENUE DR W
BRADENTON, FL 34205-1141

FREES, MICHAEL W
3503 45TH ST W
BRADENTON, FL 34209-8047

FRUCHEY, KEVIN R
3304 45TH ST W
BRADENTON, FL 34209-8043

GALLAGHER, ARTHUR
4211 33RD AVENUE DR W
BRADENTON, FL 34205-1141

GALLAGHER, GILBERTE L
3220 42ND ST W
BRADENTON, FL 34205-1102

GARNER, DAVID P
2928 PARK LAKE DR
BRADENTON, FL 34209

GARTLEY, MARIE F
4202 34TH AVENUE DR W
BRADENTON, FL 34205

GARTMAN, SUZANNE M
4212 37TH AVENUE DR W
BRADENTON, FL 34205

GILBERT, ROBBIN J
300 PLUM ST #110
CAPITOLA, CA 95010-2224

GILLETTE, JAMES N
3760 PINEBROOK CIR # 1
BRADENTON, FL 34209-8033

GLEASMAN, JOHN C
1154 TROWBRIDGE LN
ROCKFORD, IL 61107-2837

GOINS, C JAY
4202 37TH AVENUE DR W
BRADENTON, FL 34205-1068

GONCI, CAROL WEIRICH
4108 33RD AVENUE DR W
BRADENTON, FL 34205-1140

GRANDAL, JOSE
4209 35TH AVE W
BRADENTON, FL 34205-1117

GRAVELLE, KENNETH E
4612 PARK LAKE TERR N
BRADENTON, FL 34209-6215

GRAY, KAREN
4523 PARK LAKE TER S
BRADENTON, FL 34209-6221

GREGORY, PATRICIA
3780 PINEBROOK CIR 506
BRADENTON, FL 34209-8032

GRIFFITH, SUSAN
4201 36TH AVENUE DR W
BRADENTON, FL 34205

GRIFFITHS, WILLIAM E
23 DAVISON AVE
EAST ROCKAWAY, NY 11518-1307

GRISWOLD, ALAN
208 WOODLAND CIR
LAKE LURE, NC 28746

GRUENER, MARY JO
2925 PARK LAKE DR
BRADENTON, FL 34209-6230

GUARINO, TIMOTHY S
209 WESTSHORE DR
JEROME, MI 49249-9420

HALEY, MICHAEL EDWARD
4206 34TH AVENUE DR W
BRADENTON, FL 34205-1114

HAMRICK, RODNEY A
393 WINDCROFT DR
WESTERVILLE, OH 43082

HAMRICK, WILLIS G
3750 PINEBROOK CIR UNIT 201
BRADENTON, FL 34209-8034

HANCOCK, MARTIN
1071 PARK ST
KENORA ON
P9N 1C1 CANADA

HANNA, LORRAINE M
4534 PARK LAKE TER N
BRADENTON, FL 34209-3974

HANSEN, RANDY
305 S SEARS ST
REED CITY, MI 49677-1092

HARRINGTON, GREGORY C
3302 45TH ST W
BRADENTON, FL 34209-8043

HARRINGTON, NADINE L
4537 PARK LAKE TERR S
BRADENTON, FL 34209-6221

HARSCH, CHARLENE
4422 PARK LAKE TER S
BRADENTON, FL 34209-6219

HARTAI, ZOLTAN
20020 ST CHRISTOPHERS BEACH RD
NESTLETON ON
LOB 1L0 CANADA

HARTNETT, THOMAS V
2923 PARK LAKE DR
BRADENTON, FL 34209

HAYER, ROBERT L
4611 PARK LAKE TERR S
BRADENTON, FL 34209-6223

HEAD, WILLIAM A
68 LOCUST LN
PENDLETON, KY 40055

HENDERSON, DANIEL M
1308 HOLLY HILL RD
VESTAL, NY 13850-5330

HENKEN, SHERYL E
4412 PARK LAKE TER S
BRADENTON, FL 34209-6219

HENSLEY, JOHN F
2980 SYRACUSE ST UNIT 212
DENVER, CO 80238

HEWITT, FREDERICK G JR
3402 45TH ST W
BRADENTON, FL 34209-8044

HICKS, NANCY V
2932 PARK LAKE DR
BRADENTON, FL 34209

HILFERDING, ESTHER M
4204 36TH AVENUE DR W
BRADENTON, FL 34205-1026

HILL, TERESA O
3504 45TH ST W
BRADENTON, FL 34209-8046

HIMES, NORMAN S
4102 33RD AVENUE DR W
BRADENTON, FL 34205-1140

HOFFMAN, SUSANNE M
3780 PINEBROOK CIR 608
BRADENTON, FL 34209-8032

HOFFMEISTER, JAY T
3403 46TH ST W
BRADENTON, FL 34209-8053

HOLT JR, ROGER I
4201 37TH AVENUE DR W
BRADENTON, FL 34205

HOLT, TAMARA
3106 43RD STREET W
BRADENTON, FL 34209-6222

HOLZAPFEL, ROBERT D
3114 43RD ST W
BRADENTON, FL 34209-6222

HOOKS, CARL RAYMOND JR
90 GRAND VILLAGE CT
GRANDVILLE, MI 49418

HORSLEY, NELLIE M
4204 35TH AVE W
BRADENTON, FL 34205-1118

HOUCK, RICHARD
3405 46TH ST W
BRADENTON, FL 34209-8040

HOUSTON, KATHRYN
4521 PARK LAKE TER S 37
BRADENTON, FL 34209

HOYT, RICHARD M JR
40 MARLIN DR
GROTON, CT 06340

HUG, MARILYN ANN
3780 PINEBROOK CIR # 606
BRADENTON, FL 34209-8032

HUGHES, ALAN S
250 HOPE VALLEY RD
AMSTON, CT 06231

HULSEY, WILLIAM D
9802 SPRING GATE DR
LOUISVILLE, KY 40241

IARUSSI, NORINE M
3211 42ND ST W
BRADENTON, FL 34205

JACOBSEN, CHRISTINE S
3435 N GLEBE RD
ARLINGTON, VA 22207-4232

JADICO LLC
4330 PINEBROOK CIR # 11
BRADENTON, FL 34209

JENNINGS, JEAN L
1611 GOLF HILL DR
JEFFERSONVILLE, IN 47130-7557

JMC COMMUNITIES INC
2201 4TH ST N SUITE 200
ST PETERSBURG, FL 33704-4300

JOHNSON, WILLIAM G
PO BOX 14414
BRADENTON, FL 34280-4414

JONES, STELLA B
3780 PINEBROOK CIR UNIT 308
BRADENTON, FL 34209-8031

KANIHAN, DAVID E
1646 BOHLAND AVE
SAINT PAUL, MN 55116

KEE, SHARON K
4506 33RD AVE W
BRADENTON, FL 34209-6241

KEELING, THOMAS E JR
3303 45TH ST W
BRADENTON, FL 34209-8043

KEENAN, MARY ANNE
3750 PINEBROOK CIR #405
BRADENTON, FL 34209

KELLER, LAWRENCE G
5907 LYONS HWY
ADRIAN, MI 49221

KING, CARLTON
3780 PINEBROOK CIR 408
BRADENTON, FL 34209-8032

KING, DONALD R
6216 LEMMING CT
PENDLETON, IN 46064

KLOCK, TRISHA E
4538 PARK LAKE TER N
BRADENTON, FL 34209-6211

KNAPP, BRAD C
3118 43RD ST W
BRADENTON, FL 34209

KOCH, WILLIAM D
3208 42ND ST W
BRADENTON, FL 34205-1131

KOHN, LINDA
4006 34TH AVE W
BRADENTON, FL 34205-1104

KOSTOVNY, THOMAS J
3780 PINEBROOK CIR APT 204
BRADENTON, FL 34209-8031

KOZACK, ROBERT A
8417 ROB ROY DR
ORLAND PARK, IL 60462

KROLL, THOMAS W SR
4002 34TH AVE W
BRADENTON, FL 34205

KUMP, DARRELL W
2015 SR 2 S
OREGON, IL 61061-9501

LABRECQUE, RICHARD T
3409 45TH ST W
BRADENTON, FL 34209-8045

LACERDA, MARCIA
3780 PINEBROOK CIR UNIT 407
BRADENTON, FL 34209

LANE, THOMAS N
355 WASHINGTON ST
DENVER, CO 80203-4219

LANG, JUDITH LYNN
2934 PARK LAKE DR
BRADENTON, FL 34209

LEE, BRUCE M
3502 45TH ST W
BRADENTON, FL 34209-8046

LEE, DONALD R
10 OSPREY LN
ST THOMAS ON
N5R 6M4 CANADA

LES PLACEMENTS BUSSEY INC
95-202E AVE CASE POSTALE 359
SAINT-HIPPOLYTE QC
J8A 3P6 CANADA

LESCARBEAU, DOROTHY
4201 35TH AVE W
BRADENTON, FL 34205-1117

LEWINTER, STEVEN M
3750 PINEBROOK CIR APT 106
BRADENTON, FL 34209-8034

LINDEMANN, KARL HEINZ
3780 PINEBROOK CIR UNIT 108
BRADENTON, FL 34209

LIPTON, LINDA
3750 PINEBROOK CIR 305
BRADENTON, FL 34209

LISSEL, CLAUDIA
3605 RIVERVIEW BLVD
BRADENTON, FL 34205-2633

LONERGAN, DIANA L
4516 PARK LAKE TER N
BRADENTON, FL 34209

LONGANO, JAY
3407 46TH ST W
BRADENTON, FL 34209-8040

LUCAS, LINDA M
4211 37TH AVENUE DR W # 4211
BRADENTON, FL 34205

LUCCHINI, RICHARD M
172 BEDFORD RD
WOBURN, MA 01801

LUKAS, LARRY F
3306 42ND ST W
BRADENTON, FL 34205-1102

LUTZ, LEWIN RICHMOND III
1349 SLEEPY HOLLOW RD
YORK, PA 17404

LUTZEN, JOHN H
4116 33RD AVENUE DR W
BRADENTON, FL 34205

LYNKINS, MICHAEL E
225 HENRY CLAY BLVD
LEXINGTON, KY 40502

LYON, EDWARD C
3201 42ND ST W
BRADENTON, FL 34205-1130

MACDONALD, GEORGE W
3780 PINEBROOK CIR 206
BRADENTON, FL 34209-8031

MAKINO, VINCENT M
4110 33RD AVENUE DR W
BRADENTON, FL 34205

MANKES, DAVID J
3306 45TH ST W
BRADENTON, FL 34209-8043

MANONI, PLIN S
54 HICKORY DR
BREWSTER, NY 10509

MARKELL, DOROTHY M
4519 PARK LAKE TER N
BRADENTON, FL 34209

MARKLE, PATRICIA A
3780 PINEBROOK CIR
BRADENTON, FL 34209-8061

MARTIN, BERNARD
8115 8TH TERR NW
BRADENTON, FL 34209-7211

MARTIN, FRANK H
3760 PINEBROOK CIR UNIT 2
BRADENTON, FL 34209

MASSA, ANN D
4203 35TH AVE W
BRADENTON, FL 34205

MCDONALD, JAMES J
215 W 84TH ST 326
NEW YORK, NY 10024

MCGRATH, STEPHEN J D
3501 45TH ST W
BRADENTON, FL 34209-8047

MEADE, TED R
3780 PINEBROOK CIR 602
BRADENTON, FL 34209-8032

MERCER-CALDWELL, LINDA L
4206 37TH AVENUE DR W
BRADENTON, FL 34205-1068

MERRILL, GERALD D
275 PARKVIEW DR
OREGON, IL 61061

MICHAUD, FRANCIS J
141 FROST ST
PORTLAND, ME 04102-2211

MILLER, ELEANOR
3205 42ND ST W
BRADENTON, FL 34205-1130

MILLER, PATRICIA A
3212 42ND ST W
BRADENTON, FL 34205

MILORD, TULIA
17 DE NOYELLES CIR
GARNERVILLE, NY 10923-1930

MITTLER, ELAINE
3219 42ND STREET CT W
BRADENTON, FL 34205-1138

MOSES, ANN
4204 32ND AVE W
BRADENTON, FL 34205-1112

MUELLER, SEBASTIAN
3301 45TH ST W
BRADENTON, FL 34209-8043

MULLIN, MICHAEL C
4602 PARK LAKE TER N
BRADENTON, FL 34209-6215

MUNSON, FLORENCE
3770 PINEBROOK CIR #5
BRADENTON, FL 34209-8030

MUNSON, FLORENCE E
3770 PINEBROOK CIR #5
BRADENTON, FL 34209-8030

MURPHY, JOAN F
4428 PARK LAKE TER S
BRADENTON, FL 34209-6219

NASTASI, ALDO A
544 A HERITAGE HILLS
SOMERS, NY 10589

NEWMAN, JANET R
4533 PARK LAKE TER S
BRADENTON, FL 34209-6221

NIKNAM, IRAJ
95 NEW VILLAGE ROAD
COTTINGHAM E RIDING OF YORKSHIRE
HU16 4ND UNITED KINGDOM

NIZZARDO, SUE
162 IVY HILLS RD
SOUTHBURY, CT 06488-1904

NORRIS, DONALD A
3750 PINEBROOK CIR 205
BRADENTON, FL 34209

NOVAK, THOMAS E
3780 PINEBROOK CIR UNIT 202
BRADENTON, FL 34209

NYKERK, CHESTER D
500 WEST MAIN AVE 2
ZEELAND, MI 49464-1500

O'BRIEN, DALE
4109 33RD AVENUE DR W
BRADENTON, FL 34205-1139

O'DONNELL, KAREN A
3750 PINEBROOK CIR 105
BRADENTON, FL 34209

OGILVIE, HAROLD W JR
23 GENEVA DR
MUSCATINE, IA 52761-3612

OLIN, PATRICIA A
3780 PINEBROOK CIR UNIT 605
BRADENTON, FL 34209

OWEN, SHARON L
4610 PARK LAKE TER N
BRADENTON, FL 34209-6215

PAGER, LOUIS A TRUST DTD 12/22/14
7803 SILVER CT
ORLAND PARK, IL 60462

PALMER, ROBERTA P
4207 33RD AVENUE DR W
BRADENTON, FL 34205-1141

PANDO, MICHAEL
431 BERLIN ROAD
MARLBOROUGH, MA 01752

PARSONS, EMMETT H
22320 CLASSIC CT APT 349
BARRINGTON, IL 60010-5919

PELTIER, LORRAINE L
4527 PARK LAKE TER N
BRADENTON, FL 34209-6213

PERROTTA, FRANK E
3407 45TH ST W
BRADENTON, FL 34209-8045

PESLAK, SCOTT J
16 REDWOOD DR
OXFORD, CT 06478

PHILIP, JAMES P
321 S DOMINION DR
WOOD DALE, IL 60191-2312

PHILLIPS, CHARLES D
4529 PARK LAKE TER S
BRADENTON, FL 34209-6221

PICCOLO, FRANK
3404 41ST ST W
BRADENTON, FL 34205-1127

PIKE, DAVID CODY
4255 LOCKING CIR
POWHATAN, VA 23139

PINEBROOK CONDOMINIUMS
ASSOCIATION INC
310 PEARL AVE
SARASOTA, FL 34243

PINEBROOK IRONWOOD RECREATION
ASSOCIATION INC
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PIPKINS, MARY L
3206 42ND ST W
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PLYER, RICHARD J
16521 HILAND TRAIL
LINDEN, MI 48451-9089

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GALLOWAY, NJ 08205-9769

PORTER, WILLIAM D
3750 PINEBROOK CIR #102
BRADENTON, FL 34209

POTTER, DAVID E
3410 45TH ST W
BRADENTON, FL 34209-8044

POWERS, JANICE E
3750 PINEBROOK CIR 104
BRADENTON, FL 34209-8034

PRETE, RONALD
4504 PARK LAKE TER N
BRADENTON, FL 34209-6211

PURNELL, LORI
4510 PARK LAKE TER N
BRADENTON, FL 34209-6211

PUTERBAUGH, SUSAN G
3505 45TH STREET WEST
BRADENTON, FL 34209-8047

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BOUNDARY CREEK NB
E1G4L8 CANADA

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130 PATRIOTS LANDING
FILLMORE, IN 46128

RIORDAN, BARRY W
63 OBSIDIAN DR
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ROBBINS, WALTER D
4542 PARK LAKE TER N
BRADENTON, FL 34209

ROBERSON, MARY H
4414 PARK LAKE TER S
BRADENTON, FL 34209-6219

ROBINSON, WILLIAM C JR
2920 PARK LAKE DR
BRADENTON, FL 34209-6240

RODRIGUEZ, FREDDIE
11587 57TH STREET CIR E
PARRISH, FL 34219

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ROSATI, PATRICK A JR
4210 36TH AVE DR W
BRADENTON, FL 34205

ROSEN, BURTON
3216 42ND ST W
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RUSS, SARAH L
4210 35TH AVE W
BRADENTON, FL 34205

RUSSELL, ARNOLD E
4206 36TH AVENUE DR W
BRADENTON, FL 34205-1026

RUSSELL, RONALD L
4532 PARK LAKE TERR N
BRADENTON, FL 34209-6211

RYERSON, TRACIE MURPHY
4107 33RD AVENUE DR W
BRADENTON, FL 34205-1139

SCANNELL, SHERRIL A
3750 PINEBROOK CIR 308
BRADENTON, FL 34209-8035

SCHMIDT, ROGER W
3750 PINEBROOK CIR 202
BRADENTON, FL 34209

SCHMITT, BRENDA C
4536 PARK LAKE TERR N
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SEGRETI, BEN J
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BRADENTON, FL 34205-1104

SENNA, WILLIAM T
4202 36TH AVENUE DR W
BRADENTON, FL 34205

SERGIO, JOANNE
4103 33RD AVENUE DR W
BRADENTON, FL 34205-1139

SHAVER, LEAH
2938 PARK LAKE DR
BRADENTON, FL 34209-6240

SHUSKO, ROBERT J
244 W CHURCH ST
LIGONIER, PA 15658

SILVERIA, CAROLYN ANN
4202 35TH AVE W
BRADENTON, FL 34205-1118

SMITH, LORI
6650 MARTHA RD
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SMITH, MARIETTA R
4212 36TH AVENUE DR W
BRADENTON, FL 34205-1026

SMITH-STENGER, JUDY
98 ATLANTIC AVE W
WEST SAYVILLE, NY 11796

STARNER, PAMELA S
3780 PINEBROOK CIR 208
BRADENTON, FL 34209-8031

STARNES, HELEN E
4205 35TH AVE W
BRADENTON, FL 34205-1117

STEELE, JOHN E
3750 PINEBROOK CIR 306
BRADENTON, FL 34209-8034

STEFANI, ALBERT J
6126 HAGAR SHORE RD W
COLOMA, MI 49038-9430

STEIER, MARVIN F
3750 PINEBROOK CIR UNIT 101
BRADENTON, FL 34209

STEPHENS, VELMA
3780 PINEBROOK CIR 104
BRADENTON, FL 34209-8031

STOKES, THOMAS J JR
4114 33RD AVENUE DR W
BRADENTON, FL 34205

STRAUSBAUGH, DALE
2737 MCCUTCHEENVILLE RD
FOSTORIA, OH 44830

STRAUSS, BARBARA
2918 PARK LAKE DR
BRADENTON, FL 34209

SUTTON, CHRISTOPHER H
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BRADENTON, FL 34209-6241

TAVELLA, ANTHONY C SR
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BRADENTON, FL 34205

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4416 PARK LAKE TER S
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THE WOODS AT PINEBROOK HOA
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3780 PINEBROOK CIR 404
BRADENTON, FL 34209-8032

THOMPSON, CATHERINE E
17702 CRYSTAL COVE PL
LUTZ, FL 33548-7945

THOMPSON, JANET
4517 PARK LAKE TER S
BRADENTON, FL 34209-6221

THORZYNSKI, EDWARD
4515 PARK LAKE TER S
BRADENTON, FL 34209-6221

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BRADENTON, FL 34209

TOMALA, CONSTANCE A
3750 PINEBROOK CIR 505
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2926 PARK LAKE DR
BRADENTON, FL 34209-6240

VALENTE REALTY INVESTMENTS II LLC
6106 OAKS BLVD
BRADENTON, FL 34209-7825

VANDEMARK, JOSEPH S II
30 CHARLESTON DR
MACOMB, IL 61455

VANDERKOOY, JUDITH R
3309 45TH ST W
BRADENTON, FL 34209-8036

VARON, CARLOS A
3408 45TH ST W
BRADENTON, FL 34209-8044

VILLAGE WEST COMMUNITY ASSOC INC
4501 36TH AVE W
BRADENTON, FL 34209-8029

VILLANO, JOANN
3302 42ND ST W
BRADENTON, FL 34205-1102

VINALES, RUTH ANN
4203 37TH AVENUE DR W
BRADENTON, FL 34205-1068

WATERS, ELIZABETH D
3750 PINEBROOK CIR 207
BRADENTON, FL 34209-8034

WERTHEIM, CAROL
4205 36TH AVENUE DR W
BRADENTON, FL 34205-1025

WHITE, DALE ANDREW
4617 PARK LAKE TER S
BRADENTON, FL 34209-6223

WHITE, JEFFREY D
1027 GREEN ST
VAN WERT, OH 45891

WILBER, MARY LOU
3780 PINEBROOK CIR # 601
BRADENTON, FL 34209

WILHELM, CHRISTOPHER LEE
4426 PARK LAKE TER S
BRADENTON, FL 34209-6219

WILKINSON, TIMOTHY A
4509 33RD AVE W
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CORTEZ, FL 34215

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4208 34TH AVENUE DR W
BRADENTON, FL 34205-1114

WINDHAUSER, JACQUELINE E
3209 42ND ST W
BRADENTON, FL 34205-1130

WOOD, JOHN E
3750 PINEBROOK CIR # 103
BRADENTON, FL 34209

WOODS, PATRICIA O
3760 PINEBROOK CIR 3
BRADENTON, FL 34209-8033

YOUNG, SUZANNE B
2927 PARK LAKE DR
BRADENTON, FL 34209

ZASTROW, DONALD
3750 PINEBROOK CIR APT UNIT 507
BRADENTON, FL 34209-8035

ZASTROW, VIRGINIA R
3750 PINEBROOK CIR 507
BRADENTON, FL 34209-8035

ZENGOTITA, AXEL A TORRES
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BRADENTON, FL 34209-8043